



GIRALDA COMPLEX

2222 PONCE DE LEON, CORAL GABLES, FLORIDA 33134

D. R. C. MAY, 27 2016

DEVELOPER

Giralda Complex LLC.-

2222 Ponce De Leon Blvd, Suite # 150
Coral Gables, Florida 33134
Ph: (305) 442 6472 Fax: (305) 442 6474

GIRALDA PLACE

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City of
Coral Gables,
Florida

Level

2

Review

Development Review Committee Application

Address: 427 Biltmore Way, 2nd Floor, Coral Gables, Florida 33134

Email: planning@coralgables.com

Phone: 305.460.5211

Preamble

The Development Review Committee (DRC) is an administrative and technical committee which reviews policy and technical issues raised by a development project. The DRC is intended to streamline and coordinate the review of the development process by identifying, addressing, providing input, advice and comments regarding all applicable provisions and regulations. The review of the projects and comments on development proposals by the DRC shall not be construed to be an approval of any project presented to the Committee.

Application review request

The undersigned applicant(s)/agent(s)/property owner(s) request(s) Level Two (2) Development Review Committee consideration and review for the following application(s) (please check all that apply):

- Permitted use new construction, additions, and alterations to buildings and/or structures (Board of Architects review only).
- Change in use or occupancy.
- Other: Revision to approved plans

Property information

Street address of the subject property: 2222 Ponce de Leon Blvd., Coral Gables, FL 33134

Property/project name: Giralda Place

Current land use classification(s): Commercial Mid Rise Intensity

Current zoning classification(s): Commercial

Proposed land use classification(s) (if applicable): N/A

Proposed zoning classification(s) (if applicable): N/A

Last use/current use of the property/building(s): Parking garage & Retail

Proposed use(s) of the property/building(s): Office, Retail & Residential

Size of property (square feet/acres): 60,096 square feet

Total non-residential (i.e, commercial, office, etc.) floor area (total square feet/FAR): 109,163 square feet

Total number of residential units per acre and total number of units: 75,718 square feet / 33 units

Estimated cost of the existing/proposed building/project: 1,380,000.00



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Email: planning@coralgables.com Phone: 305.460.5211

Application(s) and date(s) of all previous City of Coral Gables submittals and type of actions related to existing/proposed building/project:

Ordinance 2007-04, 2008-03, Resolution 2008-86, Resolution 2010-31

Project Legal Description: Lot(s): See Exhibit "A" attached hereto and made a part hereof

Block(s): _____

Section(s): _____

Listing of all folio numbers for subject property:

03-4108-059-0001 - Reference only

03-4108-059-0010,03-4108-059-0020,03-4108-059-0030,03-4108-059-0040,03-4108-059-0050,

03-4108-059-0060,03-4108-059-0070, 03-4108-006-3010, 03-4108-006-3020, 03-4108-006-3070,

03-4108-006-3080 and 03-4108-006-3090

General information

Applicant(s)/Agent(s) Name(s): Laura L. Russo, Esq.

Telephone Contact No: 305-476-8300 Fax No.: 305-476-8383 Email: Laura @ Laurarussolaw.com

Mailing Address: 2655 Le Jeune Road, Suite PH 1-F, Coral Gables, FL 33134

(City)

(State)

(ZIP Code)

Property Owner(s) Name(s): Giralda Complex, LLC

Telephone Contact No: 646-267-3455 Fax No.: _____ Email: Cristo@ Giraldacomplex.net

Mailing Address: 2222 Ponce de Leon Blvd., Coral Gables, FL 33134

(City)

(State)

(ZIP Code)



City of
Coral Gables,
Florida

Level

2

Review

Development Review Committee Application

Address: 427 Biltmore Way, 2nd Floor, Coral Gables, Florida 33134

Email: planning@coralgables.com

Phone: 305.460.5211

Property Owner(s) Name(s): Giralda PB, LLC

Telephone Contact No: 646-267-3455 Fax No.: _____ Email: _____ Cristo @ Giraldacomplex.net

Mailing Address: 2222 Ponce de Leon Blvd., Coral Gables, FL 33134

(City)

(State)

(ZIP Code)

Project Architect(s) Name(s): John Fullerton, A1A with Fullerton Group Architects

Telephone Contact No: 305-213-3321 Fax No.: _____ Email: _____ JFullerton @ thefullertongroup.com

Mailing Address: 2222 Ponce de Leon Blvd., Coral Gables, FL 33134

(City)

(State)

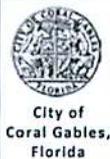
(ZIP Code)

Provide the date(s) and types of application(s) previously filed with the City of Coral Gables and type of reviews, approvals, actions related to this request:

2007 - Mixed Use project. Site Plan Approval and Change in Land Use

2008 - Amendment to Approval - regarding landscaping requirements and Museum contribution

2012 - Administrative approval of minor revision - removal of underground level of parking



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Application requirements and supporting information

Application submittal dates and meeting dates. Applications for the DRC shall be submitted in no later the first Friday of each month to be scheduled for the same monthly DRC meeting. DRC meetings are held the last Friday of each month, 9:30 a.m. City Commission Chambers, City Hall, 405 Biltmore Way, Coral Gables, Florida 33134. Applicants and/or agent shall be required to attend the meeting to present the application request and respond to City Staff questions. All applications shall be complete at time of submittal.

Preapplication Conference Requirements. A Pre-application Conference is required with the Planning and Zoning Division in advance of application submittal to determine the information necessary to be filed with the application(s). The City reserves the right to request additional information as necessary. City staff to check/confirm if all below information is provided at time of application submittal.

Application submittal (order of documents). The order of the documents for the application submittal shall be as follows (required documents will be determined at pre-application meeting):

- Table of Contents with page numbers identifying all below documents.
- DRC Application.
- Statement of use and/or cover letter.
- Aerial.
- Photographs of property, adjacent uses and/or streetscape.
- Property survey and legal description.
- Zoning chart and supporting information.
- Site Plan.
- Landscape plan and vegetation assessment.
- Tree survey and relocation plan.
- Architectural/building elevations.
- Building floor plans.
- Art in Public Places plan and/or statement.
- Ordinances, resolutions, covenants, development agreements, etc. previously granted for the property.
- Historical Significance letter.
- Name and contact information for property owner, applicant, architect, attorney, etc.
- City of Coral Gables Annual Registration Application and Issue Application Lobbyist forms.
- Warranty Deed.
- Application fee of \$100.00 dollars in check form, payable to the City of Coral Gables. Submit copy of check.
- Other: _____

Posting of the property. The City will post the subject property with a sign in accordance with the requirements of the Zoning Code indicating the DRC meeting date and location. The sign will be installed ten (10) days prior to the meeting and shall not be removed until after the meeting has been held, at which time it is the applicant's responsibility to remove the sign.



City of
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Address: 427 Biltmore Way, 2nd Floor, Coral Gables, Florida 33134

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Phone: 305.460.5211

Application submittal requirements

1. Hard copies. Three (3) hard copies of the entire application shall be submitted including all the items identified in the pre-application conference. Plans and drawings shall be in 11" x 17" format.
2. Electronic copy. One (1) PDF of the entire application shall be submitted including all items provided within the hard copies. The documents provided in the electronic copy shall be the same size (11" x 17" maximum for plans and drawings) and in the same order as the hard copy submittal. The total file size shall not exceed 30 MB.

Applicant/agent/property owner/architect affirmation and consent

(I) (We) affirm and certify to all of the following:

1. Submission of the following:
 - a. Warranty deed/tax record as proof of ownership for all properties considered as a part of the application request; or
 - b. Authorized as the applicant(s)/agent(s) identified herein to file this application and act on behalf of all current property owner(s) and modify any valid City of Coral Gables entitlements in effect during the entire review process.
2. This request, application, application supporting materials and all future supporting materials complies with all provisions and regulations of the Zoning Code, Comprehensive Land Use Plan and Code of Ordinances of the City of Coral Gables unless identified and approved as a part of this application request or other previously approved applications. Applicant understands that any violation of these provisions renders the application invalid.
3. That all the information contained in this application and all documentation submitted herewith is true to the best of (my) (our) knowledge and belief.
4. Understand that the application, all attachments and fees become a part of the official records of the City of Coral Gables and are not returnable.
5. Failure to provide the information necessary pursuant to the established time frames included but not limited to application submittal, submission of revised documents, etc. for review by City Staff and the designated reviewing entity may cause application to be deferred without further review until such time the requested information is submitted.
6. All representatives of the application have registered with and completed lobbyist forms for the City of Coral Gables City Clerk's office.
7. Understand that under Florida Law, all the information submitted as part of the application are public records.
8. The subject property will be posted by the City in accordance with Zoning Code requirements. The sign shall be installed by the City ten (10) days prior to the meeting and shall not be removed until after the meeting, at which time it is the applicant's responsibility to remove the sign.
9. The application will not be heard unless the Applicant and/or agent is present at the DRC meeting.



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Email: planning@coralgables.com

Phone: 305.460.5211

Applicant(s)/Agent(s) Signature:

Applicant(s)/Agent(s) Print Name:

Laura L. Russo

Address: 2655 Le Jeune Road, Suite PH 1-F
Coral Gables, FL 33134

Telephone: 305-476-8300

Fax: 305-476-8383

Email: Laura@Laurarussolaw.com

NOTARIZATION

STATE OF FLORIDA/COUNTY OF

The foregoing instrument was acknowledged before me this 2 day of May, ²⁰¹⁶ by Laura L. Russo

(Signature of Notary Public - State of Florida)



(Print, Type or Stamp Commissioned Name of Notary Public)

Personally Known OR Produced Identification; Type of Identification Produced _____



Level
2
Review

Development Review Committee Application

Address: 427 Biltmore Way, 2nd Floor, Coral Gables, Florida 33134

Email: planning@coralgables.com

Phone: 305.460.5211

Property Owner(s) Signature: Giralda Complex, LLC a Florida limited liability co. By: <u><i>[Signature]</i></u> Kim Tabet, Vice President	Property Owner(s) Print Name: Giralda Complex, LLC By Kim Tabet, Vice President
Property Owner(s) Signature: Giralda PB, LLC a Florida limited liability co. By: <u><i>[Signature]</i></u> Kim Tabet, Vice President	Property Owner(s) Print Name: Giralda PB, LLC By Kim Tabet, Vice President
Property Owner(s) Signature:	Property Owner(s) Print Name:

Address: 2222 Ponce de Leon Blvd.
Coral Gables, FL 33134

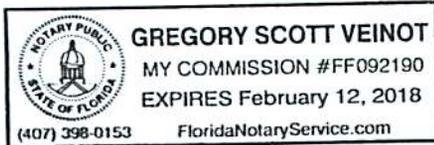
Telephone: 646-267-3455 Fax:

Email: cristo@giraldacomplex.net

NOTARIZATION

STATE OF FLORIDA/COUNTY OF

The foregoing instrument was acknowledged before me this 28 day of April 2016 by Kim Tabet
(Signature of Notary Public - State of Florida)



[Handwritten Signature]

(Print, Type or Stamp Commissioned Name of Notary Public)

Personally Known OR Produced Identification; Type of Identification Produced _____



Level
2
Review

Development Review Committee Application

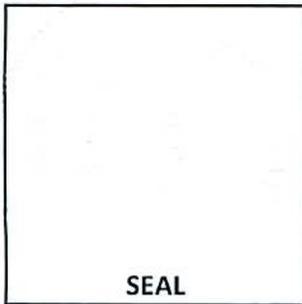
Address: 427 Biltmore Way, 2nd Floor, Coral Gables, Florida 33134
 Email: planning@coralgables.com Phone: 305.460.5211

Architect(s) Signature: 	Architect(s) Print Name: John Fullerton, A1A
--	---

Address: 2222 Ponce de Leon Blvd.
Coral Gables, FL 33134

Telephone: 305-213-3321	Fax:
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Email: jfullerton@thefullertongroup.com



NOTARIZATION

STATE OF FLORIDA/COUNTY OF

The foregoing instrument was acknowledged before me this 28 day of April by John Fullerton
 (Signature of Notary Public - State of Florida)



(Print, Type or Stamp Commissioned Name of Notary Public)

Personally Known OR Produced Identification; Type of Identification Produced _____

Law Office
of
LAURA L. RUSSO, ESQ.
2655 Le Jeune Road, Suite PH-1F
Coral Gables, Florida 33134

Tel: 305-476-8300
Fax: 305-476-8383

Email: Laura@LauraRussoLaw.com

May 3, 2016

Mr. Charles Wu
Acting Development Services Director
427 Biltmore Way, 2nd Floor
Coral Gables, Fl. 33134

Re: Giralda Complex – Zoning
Property: 2222 Ponce de Leon Blvd., (South half of Giralda Avenue)
File No.: 13L-343

Dear Mr. Wu,

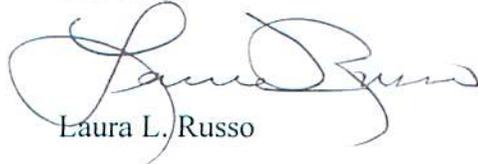
I represent Giralda Complex, LLC and Giralda PB, LLC, the owners of the referenced property. Construction is currently underway for Phase II of the Giralda Complex project. Phase I was the renovation of the existing office building at 2222 Ponce de Leon Blvd. Phase II is the construction of the ground floor retail, parking garage, and residential and office towers.

The developer is proposing a revision to reduce the number of residential units from 44 to 33. The distribution will now be 1 one bedroom unit, 17 two bedroom units, and 15 three bedroom units. Parking for the redistribution of unit types is provided and the project provides 25 additional spaces beyond the requirement for all uses combined. The attached submittal contains the pertinent floor plans reflecting the proposed revision.

This revision also squares off the two towers that were originally octagonal in shape. The Board of Architects recently approved this change.

Should you need any additional information, please do not hesitate to contact me.

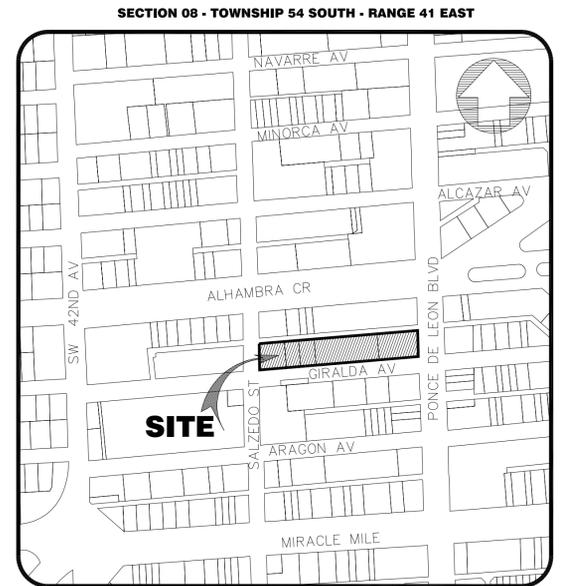
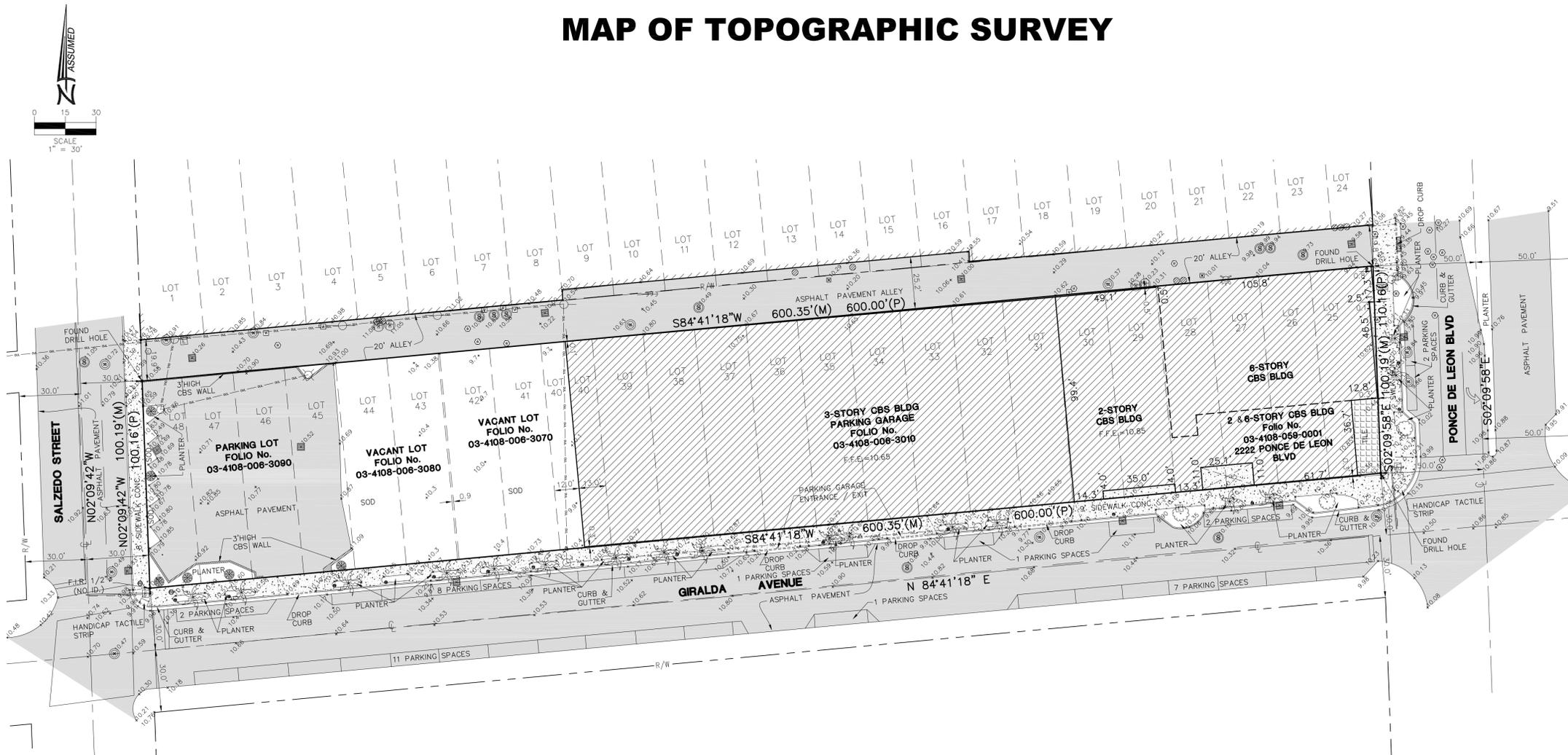
Sincerely,



Laura L. Russo

Cc: Christopher Brown, Giralda Complex, LLC

MAP OF TOPOGRAPHIC SURVEY



LOCATION MAP
NOT TO SCALE

LEGEND:	
DRWY	= DRIVEWAY
D.M.E.	= DRAINAGE MAINTENANCE EASEMENT
C.M.E.	= CANAL MAINTENANCE EASEMENT
UE	= UTILITY EASEMENT
A	= ARC DISTANCE
BLDG.	= BUILDING
C.B.	= CATCH BASIN
C.B.S.	= CONCRETE BLOCK STRUCTURE
CH.	= CHORD DISTANCE
(C)	= CALCULATED VALUE
(C)	= CENTER LINE
CONC.	= CONCRETE
P.R.C.	= POINT OF REVERSE CURVE
P.C.	= POINT OF CURVATURE
F.N.D.	= FOUND NAIL/DISK
P.O.C.	= POINT OF COMPOUND CURVE
B	= BASELINE
N.G.V.D.	= NATIONAL GEODETIC VERTICAL DATUM
INV. EL.	= INVERT ELEVATION
P.B.	= PLAT BOOK
P.C.P.	= PERMANENT CONTROL POINT
OMP	= CORRUGATED METAL PIPE
P.I.	= POINT OF INTERSECTION
B.V.C.	= BLOCK CORNER
R	= RADIUS
RES.	= RESIDENCE
R/W	= RIGHT OF WAY
SEC.	= SECTION
S.I.P.	= SET IRON PIPE
T.O.P.	= TOP OF PIPE
SHW	= SIDEWALK
P.S.	= PAGE
P.O.B.	= POINT OF BEGINNING
P.L.	= PROPERTY LINE
N.T.S.	= NOT TO SCALE
ELEV.	= ELEVATION
W.O.	= WATER OUTLET
BL.	= BLOCK
C	= CLEANOUT
M	= MONUMENT LINE
D.C.B.	= DRAINAGE CATCH BASIN
CA	= CENTRAL ANGLE
TS	= TRAFFIC SIGN
C.B.I.	= CATCH BASIN (INLET)
MA	= MAST ARM
W.U.P.	= WOOD UTILITY POLE
A.P.	= ANCHOR POLE
C.L.P.	= CONCRETE LIGHT POLE
C.P.P.	= CONCRETE POWER POLE
F.H.	= FIRE HYDRANT
E.B.	= ELECTRIC BOX
C.T.B.	= CABLE TV BOX
W.P.B.	= WIRE PULL BOX
W.V.	= WATER VALVE
S.V.	= SEWER VALVE
M.L.P.	= METAL LIGHT POLE
W.M.	= WATER MANHOLE
T.M.	= TELEPHONE MANHOLE
S.M.	= SANITARY SEWER MANHOLE
T.B.M.	= TEMPORARY BENCH MARK
P.M.	= PARKING METER
F.P.	= FLAG POLE
F.F.E.	= FINISH FLOOR ELEVATION
S.I.R.	= SET IRON REBAR
P.O.C.	= POINT OF COMMENCEMENT
F.N.	= FOUND NAIL
P.T.	= POINT OF TANGENCY
E.N.C.	= ENCROACHMENT
F.H.	= FIRE HYDRANT
F.I.P.	= FOUND IRON PIPE
F.I.R.	= FOUND IRON REBAR
L.F.E.	= LOWEST FLOOR ELEVATION
L.P.	= LIGHT POLE
M	= MEASURED VALUE
(R)	= RECORD VALUE
X-Y-Z	= SHADE TREE
X-Y-Z	= PALM TREE
X-Y-Z	= TRUNK DIAMETER
X-Y-Z	= TREE HIGH
X-Y-Z	= CANOPY DIAMETER
—	= RIGHT OF WAY LINE
—	= PROPERTY LINE
—	= EASEMENT LINE
—	= IRON FENCE
—	= WOOD FENCE
—	= CHAIN LINK FENCE
—	= OVERHEAD UTILITY LINE
—	= WATER LINE
—	= UNKNOWN LINE
—	= STORM LINE
—	= SEWER LINE
—	= ELECTRIC LINE
—	= GAS LINE
—	= BRICK
—	= CONCRETE
—	= GRAVEL
—	= TILE
—	= PAVEMENT
—	= CBS WALL

SECTION 1) DATE OF FIELD SURVEY:
1. The date of completion of original field Survey was on January 19, 2016.

SECTION 2) LEGAL DESCRIPTION:
The West 0.9 feet of the Lot 30, all of Lots 31 through 39 both inclusive and Lot 40 less the West 11.89 feet thereof, in Block 28, of Coral Gables Section "K" according to the plat recorded thereof as recorded in Plat Book 8, Page 33, of the Public Records of Dade County, Florida.

AND
The West 11.89 feet of Lot 40, all of Lot 41, and Lot 42 less the West 0.75 feet thereof, in Block 28, of Coral Gables Section "K" according to the Plat thereof as recorded in Plat Book 8, Page 33, of the Public Records of Dade County, Florida.

AND
Lots 43, 44 and the West 0.75 feet of Lot 42, in Block 28, of Coral Gables Section "K" according to the Plat thereof as recorded in Plat Book 8, Page 33, of the Public Records of Dade County, Florida.

AND
Lots 45, 46, 47 and 48, in Block 28, of Coral Gables Section "K" according to the Plat thereof as recorded in Plat Book 8, Page 33, of Public Records of Dade County, Florida.

AND
First Floor Unit together with an individual 21.438961% interest in the common elements, Second Floor Unit together with an undivided 17.656854% interest in the common elements, Third Floor unit together with an undivided 12.180837% interest in the common elements, and the Fifth Floor Unit together with an undivided 12.180837% interest in the common elements, of the University Federal Condominium according to the Declaration of the Condominium thereof as recorded in official Records Book 10440, Page 2225, of the Public Records of Dade County, Florida.

Note: The Condominium Structure is situated upon a certain parcel of land described as: Lots 25 through 29, both inclusive, and the East 24.1 feet of the Lot 30, of Coral Gables Section "K" according to the Plat Book 8 at Page 33 of the Public Records of Dade County, Florida.

Containing 60,059 Square Feet or 1.379 Acres, more or less, by calculations.

Property Address: 2222 Ponce De Leon BLVD, Miami, Florida, 33134.
Folio No.: 03-4108-006-3090
Folio No.: 03-4108-006-3080
Folio No.: 03-4108-006-3070
Folio No.: 03-4108-006-3010
Folio No.: 03-4108-059-0001

SECTION 3) ACCURACY:
The accuracy obtained by field measurement methods and office calculations of closed geometric figures meets and exceeds the Standards of Practice requirement for this Type of Survey as defined in Rule 5J-17.051, Florida Administrative Code.

Elevations of well identified features as depicted on the Survey Map were measured to an estimated vertical position accuracy of 1/100 of a foot on hard surfaces and 1/10 of a foot on ground surfaces.

Well identified features as depicted on the Survey Map were measured to an estimated horizontal position accuracy of 1/10 of a foot.

This Map of Boundary Survey is intended to be displayed at a scale of (1"=30') or smaller.

SECTION 4) SOURCES OF DATA:
North arrow direction is based on an assumed Meridian.

Bearings as shown hereon are based upon the Sotherly Boundary Line with an assumed bearing of N84°41'18"E, said line to be considered a well established and monumented line.

This property is to be located in Flood Zone "X", as per Federal Emergency Management Agency (FEMA) Community Number 120639 (City of Coral Gables), Map Panel No. 12086C294, Suffix L, Map Revised Date: September 11, 2009.

Legal Description was furnished by client.

Elevations as shown hereon are based on the National Geodetic Vertical Datum of 1929, as per Miami-Dade County's Benchmark Number N-19, Elevation 11.65 feet.

SECTION 5) LIMITATIONS:
Since no other information were furnished other than what is cited in the Sources of Data, the Client is hereby advised that there may be legal restrictions on the Subject Property that are not shown on the Survey Map that may be found in the Public Records of Miami-Dade County.

The Surveyor makes no representation as to ownership or possession of the Subject Property by any entity or individual who may appear of public records of this County.

No excavation or determination was made as to how the Subject Property is served by utilities.

No improvements were located, other than those shown. No underground foundations, improvements and/or utilities were located or shown hereon.

SECTION 6) CLIENT INFORMATION:
This Topographic Survey was prepared at the request of and certified to:
M2E Consulting Engineers
Victor Chavez
5815 SW 68th Street
Miami FL 33143

SECTION 7) SURVEYOR'S CERTIFICATE:
I hereby certify: That this "Boundary Survey" and the Survey Map resulting therefrom was performed under my direction and is true and correct to the best of my knowledge and belief and further, that said "Boundary Survey" meets the intent of the applicable provisions of the "Standards of Practice for Land Surveying in the State of Florida", pursuant to Rule 5J-17.051 through 5J-17.052 of the Florida Administrative Code and its implementing law, Chapter 472.027 of the Florida Statutes.

HADONNE CORP., a Florida Corporation
Florida Certificate of Authorization Number LB7097

By: _____
Abraham Hadad, PSM
Registered Surveyor and Mapper LS6006
State of Florida

NOTICE: Not valid without the signature and original raised seal of a Florida Licensed Surveyor and Mapper. Additions or deletions to Survey Maps by other than the signing party are prohibited without the written consent of the signing party.

HADONNE
 LAND SURVEYOR AND MAPPERS
 LAND DEVELOPMENT CONSULTANTS
 SUBSURFACE UTILITY ENGINEERING
 1966 NW 88th Court, Suite 201 - Doral, FL 33172 - P: (305)968-1188 - F: (305)967-8846 - W: www.hadonne.com

MAP OF TOPOGRAPHIC SURVEY
 for
M2E CONSULTING ENGINEERS
 or
2222 PONCE DE LEON BLVD

REVISIONS	NO.	DATE	BY	DESCRIPTION
	1			
	2			
	3			
	4			
	5			

Field Book: **FILE**

DRAWN BY: **BG**

TECH BY: **RI**

QA/QC BY: **AH**

Job No.: **08025**

1/1

Exhibit "A"

Legal Description:

Parcel A

First floor unit together with an individual 21.438961% interest in the common elements, Second Floor Unit together with an undivided 17.656854% interest in the common elements, Third Floor Unit together with an undivided 12.180837% interest in the common elements, Fourth Floor Unit together with an undivided 12.180837% interest in the common elements, and Fifth Floor Unit together with an undivided 12.180837% interest in the common elements, of University Federal Condominium, according to the Declaration of Condominium thereof as recorded in Official Records Book 10440, Page 2225, of Public Records of Miami-Dade County, Florida.

Note: The condominium structure is situated upon a certain parcel of land described as: Lots 25 through 29, both inclusive, and the East 24.1 feet of Lot 30, thereof, as recorded in Plat Book 8 at, Page 33 of the Public Records of Miami-Dade County, Florida.

Parcel B

The West 0.9 feet of Lot 30, all of lots 31 through 39 both inclusive and Lot 40 less the West 11.89 feet thereof, in Block 28, of Coral Gables Section "K" according to the plat thereof as recorded in Plat Book 8, Page 33, of the Public Records of Miami-Dade County, Florida. AND The West 11.89 feet of Lot 40, all of Lot 41, and Lot 42 less the West 0.75 feet thereof, in Block 28, of Coral Gables Section "K" according to the Plat thereof, as recorded in Plat Book 8, Page 33 of the Public Records of Miami-Dade County, Florida.

AND

Lots 43, 44 and the West 0.75 feet of Lot 42, in Block 28, of Coral Gables Section "K" according to the Plat thereof, as recorded in Plat Book 8, Page 33, of the Public Records of Miami-Dade County, Florida.

AND

Lots 45, 46, 47 and 48, in Block 28, of Coral Gables Section "K" according to the Plat thereof, as recorded in Plat Book 8, Page 33, of the Public Records of Miami-Dade County, Florida.

THESE DESIGNS AND DRAWINGS ARE THE COPYRIGHTED PROPERTY OF FULLERTON DIAZ ARCHITECTS, INC. ARCHITECTS AND PLANNERS AND MAY NOT BE REPRODUCED, EXCEPT WITH SPECIFIC WRITTEN CONSENT OF THE ARCHITECT. THE CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS OF THE JOB AND BE RESPONSIBLE FOR SAME. REPORTING ANY DISCREPANCIES TO THE ARCHITECT BEFORE COMMENCING WORK. DRAWINGS NOT TO BE SCALED.

UNIT AREA TABULATION				
UNIT	LEVEL	# BEDROOMS	MIN FLR AREA	PROP'D AREA
B1	5	2BR/ 2.5B	900	1,417
B1	6	"	"	"
B1	7	"	"	"
B1	8	"	"	"
B1r	5	2BR/ 2.5B	900	1,417
B1r	6	"	"	"
B1r	7	"	"	"
B1r	8	"	"	"
B2	5	2BR/ 2.5B	900	1,601
B2	6	"	"	"
B2	7	"	"	"
B2	8	"	"	"
B2r	5	2BR/ 2.5B	900	1,567
B2r	6	"	"	"
B2r	7	"	"	"
B2r	8	"	"	"
B3	5	2BR/ 2.5B	900	1,610
B3	6	"	"	"
B4	5	2BR/ 2.5B	900	1,614
B4	6	"	"	"
B5	5	2BR/ 2.5B	900	1,853
B6	5	2BR/ 2.5B	900	1,999
B7	8	2BR/ 2.5B	900	1,434
B8	6	2BR/ 2.5B	900	1,871
A1	5	1BR/ 1.5B	750	1,106
A1	6	"	"	"
A2	5	1BR/ 1.5B	750	1,038
A2	6	"	"	"
A3	6	1BR/ 1.5B	750	1,179
A4	7	1BR/ 1.5B	750	1,033
A5	7	1BR/ 1.5B	750	1,124
A6	8	1BR/ 1.5B	750	1,061
A7	5	1BR/ 1.5B	750	1,165
C1	7/8	2BR/ 2.5B	900	1,808
C1r	7/8	2BR/ 2.5B	900	1,808
C2	7/8	2BR/ 2.5B	900	1,553
C2r	7/8	2BR/ 2.5B	900	1,553
C3	7/8	2BR/ 2.5B	900	1,517
C3r	7/8	2BR/ 2.5B	900	1,517
C4	7/8	2BR/ 2.5B	900	1,517
C4r	7/8	2BR/ 2.5B	900	1,517
C5	7/8	2BR/ 2.5B	900	1,840
C5r	7/8	2BR/ 2.5B	900	1,840
PH	Penthouse	2BR/ 2.5B	900	2,395

PROJECT FACT SHEET

THE GIRALDA COMPLEX BUILDING AND ZONING DATA

A. ZONING DISTRICT CB/CC- MXD1 (MIXED USE - MID-RISE INTENSITY) DISTRICT NO.1 (CENTRAL BUSINESS DISTRICT) SECTION K

B. LAND AREA 60,096 SQ.FT. (1.38 ACRES) TOTAL MED. BONUS EARNED=0.5 FAR=3.5
60,096 SQ.FT. X 3.5 = 210,336 SQ.FT.

C. TOTAL F.A.R. PROPOSED

RESIDENTIAL AREA	83,577 SQ.FT.	210,336 SQ.FT.	RESIDENTIAL AREA	75,718 SQ.FT.
COMMERCIAL AREA	125,930 SQ.FT.		COMMERCIAL AREA	109,163 SQ.FT.
TOTAL AREA	209,507 SQ.FT. (829 sq ft under)		TOTAL AREA	184,881 SQ.FT. (25,455 sf under)
210,336 SQ. FT. - 46,936 (EXIST)	163,400 SQ. FT. - REQUIRED	210,336 SQ. FT.	- 40,137 (EXIST) =	170,199 SQ. FT. - REQUIRED
	162,571 SQ. FT. - PROPOSED			144,744 SQ. FT. - PROPOSED
	(829 sq ft - under)			(25,455 sf under)

D. BUILDING SETBACKS MEDITERRANEAN ORDINANCE

FRONT	GIRALDA	0 FT.
SIDE	SALZEDO	0 FT.
SIDE	PONCE DE LEON	0 FT.
REAR	INTERIOR(ALLEY)	0 FT.

E. PROPOSED UNITS

1 BEDROOM	9 UNITS
2 BEDROOM	35 UNITS
TOTAL	44 UNITS

F. MAXIMUM HEIGHT 8 STORIES -97'-0"
PLUS 12'-0" TO TOP OF PENTHOUSE

G. BUILDING FOOTPRINT N/A

H. GREEN SPACE 10% OF 60,000 SQ. FT. = 6,000 SQ.FT. 6,000 SQ.FT. (SEE LANDSCAPE PLANS)

LOTS 25 THRU PART OF 40 = 39,112.57 SQ.FT.
10% OF 39,112.57 = 3,911.25 SQFT
840 SQ.FT. ON 2222 PONCE PLUS MITIGATED SQUARE FOOTAGE FOR CITY OF CORAL GABLES HISTORICAL MUSEUM.

J. OFF-STREET PARKING:

-44 UNITS (1 AND 2 BEDROOMS) X 1.5 SPACES	= 66 SPACES
- (SUPPLEMENTAL) 15% OF 44 UNITS	= 7 SPACES
- BUSINESS (REPLACEMENT FOR EXISTING ON 2222 PONCE)	= 134 SPACES
- BUSINESS (NEW) + RETAIL + BOH	= 239 SPACES
- 83,730 SQ.FT./350	
- TOTAL REQUIRED PARKING	= 446 SPACES
- TOTAL ACCESSIBLE PARKING - REQUIRED & PROVIDED	= 9 SPACES

RESIDENTIAL (PHASE II):
44 UNITS (1 & 2 BR) X 1.5 SPACES = 66 SPACES
(SUPPLEMENTAL) 44 X 15% = 7 SPACES

COMMERCIAL (PHASE I):

GND	19
LEVEL 2	13
LEVEL 3	0
LEVEL 4	59
LEVEL 5	17
LEVEL 6	17
LEVEL 7	17
BOH/LOBBY	03
TOTAL	145 SPACES

COMMERCIAL (PHASE II):
BOH/LOBBY (PHASE II):
TOTAL: 71,325 SF/350 = 204 SPACES

TOTAL REQUIRED PARKING = 422 SPACES

BASEMENT = 0 SPACES
GROUND = 42 SPACES (1 H.C./ 14 LIFTS)*
LEVEL 2 = 117 SPACES (3 H.C.)
LEVEL 3 = 129 SPACES (3 H.C.)
LEVEL 4 = 134 SPACES (3 H.C.)

TOTAL PARKING PROVIDED = 422 SPACES (10 H.C.) (0 UNDER)
(H.C. PARKING REQUIRED) = 9 SPACES

* LIFTS TO BE OPERATED EXCLUSIVELY BY VALET PARKING

K. OFF-STREET LOADING 4 LOADING SPACES PROVIDED ea 10' x25'x14' HIGH. MIN.

CODES & REQUIREMENTS

FLOOD ZONE: X

OCCUPANCY: GROUP R2 - B - M
CONSTRUCTION TYPE: TYPE 1 - B
PARKING GARAGE: OPEN ON 2, 3 AND 4 LEVEL - CLOSED AT UNDERGROUND

THIS BUILDING SHALL COMPLY WITH ALL APPLICABLE BUILDING CODES INCLUDING THE FOLLOWING:

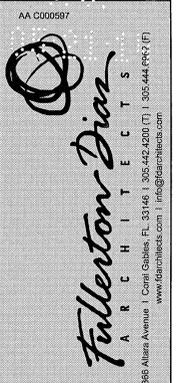
- 2004 FLORIDA BUILDING CODE & 2005 SUPPLEMENT (INCORPORATING FAIR HOUSING ACCESSIBILITY GUIDELINES, JUNE 24, 1991)
- ANSI A117.1-1986
- FLORIDA FIRE PREVENTION CODE, 2004 EDITION
- NFPA101 LIFE SAFETY CODE, 2003 FLORIDA EDITION
- THE AMERICANS WITH DISABILITIES ACT
- ZONING CODE OF THE CITY OF CORAL GABLES MARCH 2004

FIRE RESISTANCE RATINGS REQUIRED & PROVIDED

STRUCTURAL FRAME INCLUDING COLUMNS, GIRDERS, TRUSSES AND ARCHES.	2 HRS.
INTERIOR BEARING WALLS	3 HRS.
EXTERIOR BEARING WALLS	3 HRS.
NON BEARING WALLS AND PARTITIONS	
EXTERIOR (SEE SEPARATION BELOW)	
INTERIOR	1 HR.
FLOORS CONSTRUCTION INCLUDING SUPPORTING BEAMS AND JOISTS	2 HRS.
ROOF CONSTRUCTION INCLUDING SUPPORTING BEAMS AND JOISTS	1 HR.

FIRE SEPARATION DISTANCE FROM COMMON PROPERTY LINE OVER 10' TO 20' 2 HRS
MAXIMUM AREA OF EXTERIOR WALL OPENING FOR HORIZONTAL SEPARATION 15% UNPROTECTED
FROM COMMON PROPERTY LINE OVER 10 FT. TO 15 FT. 45% PROTECTED

GIRALDA PHASE I - LEVEL 3
GIRALDA P.B. LLC AGREES THAT IT WILL NOT ALLOW ANY ENTITY TO OCCUPY THE THIRD FLOOR AS AN EDUCATIONAL FACILITY UNTIL SUCH TIME AS THE PROPOSED USER SATISFIES THE DEVELOPMENT SERVICES DIRECTOR AND THE CITY ATTORNEY THAT IT HAS SECURED THE ADDITIONAL PARKING REQUIRED FOR THIS CHANGE IN USE ON THE THIRD FLOOR.



GIRALDA COMPLEX L.L.C.
2222 PONCE DE LEON BLVD.
CORAL GABLES, FLORIDA 33134

DEVELOPER
Giralda Complex L.L.C.
2222 Ponce De Leon Blvd, Suite # 150
Coral Gables, Florida 33134
Ph: (305) 442 6472 Fax: (305) 442 6474

NO.	DESCRIPTION	DATE
1	BASEMENT REMOVAL	01-01-15
2	T.A.S. CALCULATIONS	02-02-10
3	REVIEW COMMENTS	06-05-08
4	REVIEW COMMENTS	03-25-08
5	PERMIT SET	11-09-07

DRAWING HISTORY:

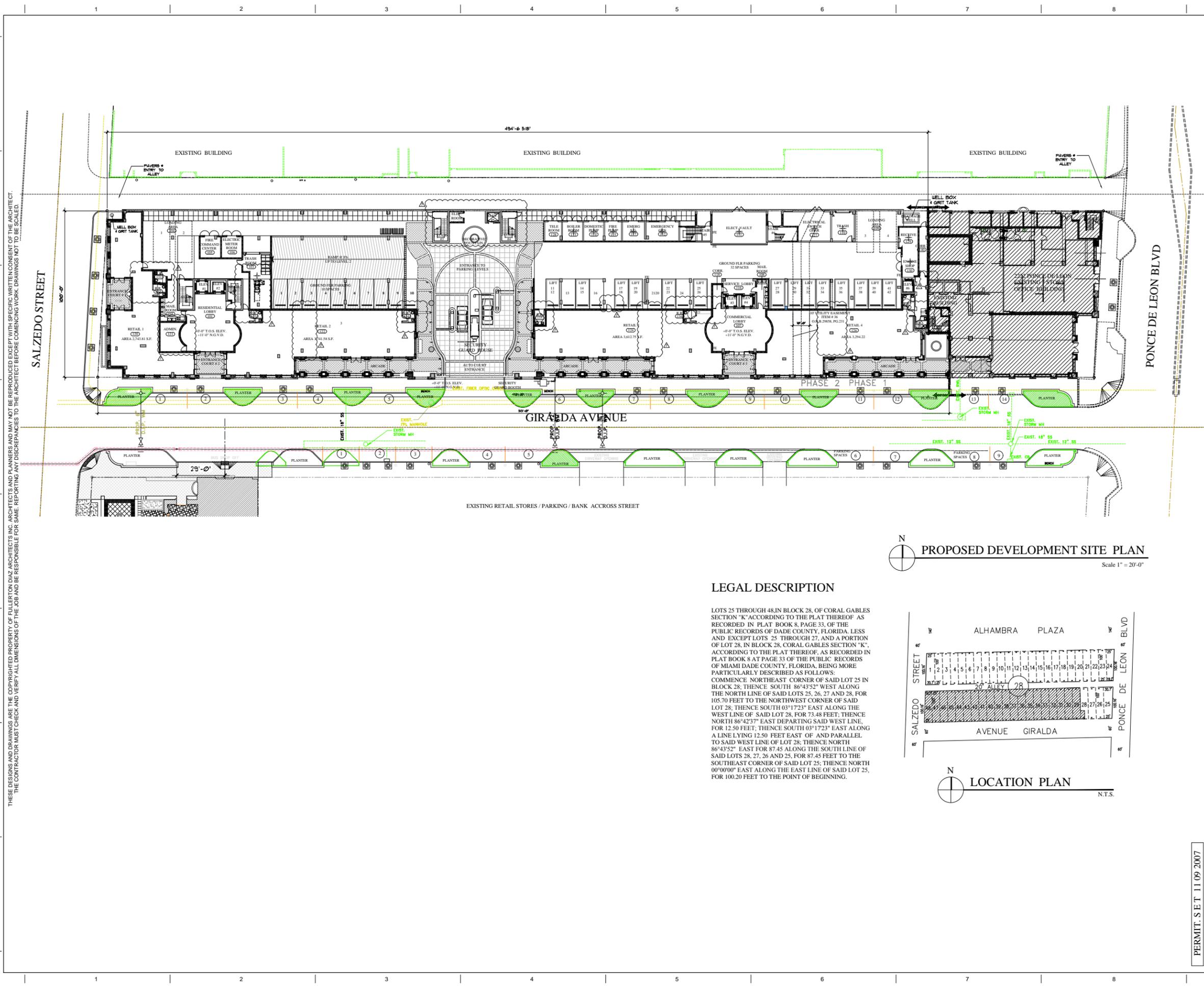
PROJECT NUMBER: 20428.00

REGISTRATION: AA C000597
JOHN P. FULLERTON - AR 4347
JULIO S. DIAZ - AR 7802



SHEET NUMBER: **A-002**

PERMIT SET 11 09 2007

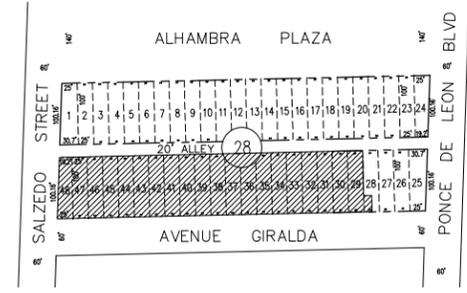


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PROPOSED DEVELOPMENT SITE PLAN
 Scale 1" = 20'-0"

LEGAL DESCRIPTION

LOTS 25 THROUGH 48, IN BLOCK 28, OF CORAL GABLES SECTION "K" ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 8, PAGE 33, OF THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA, LESS AND EXCEPT LOTS 25 THROUGH 27, AND A PORTION OF LOT 28, IN BLOCK 28, CORAL GABLES SECTION "K", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 8 AT PAGE 33 OF THE PUBLIC RECORDS OF MIAMI DADE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCE NORTHEAST CORNER OF SAID LOT 25 IN BLOCK 28; THENCE SOUTH 86°43'52" WEST ALONG THE NORTH LINE OF SAID LOTS 25, 26, 27 AND 28, FOR 105.70 FEET TO THE NORTHWEST CORNER OF SAID LOT 28; THENCE SOUTH 03°17'23" EAST ALONG THE WEST LINE OF SAID LOT 28, FOR 73.48 FEET; THENCE NORTH 86°42'37" EAST DEPARTING SAID WEST LINE, FOR 12.50 FEET; THENCE SOUTH 03°17'23" EAST ALONG A LINE LYING 12.50 FEET EAST OF AND PARALLEL TO SAID WEST LINE OF LOT 28; THENCE NORTH 86°43'52" EAST FOR 87.45 ALONG THE SOUTH LINE OF SAID LOTS 28, 27, 26 AND 25, FOR 87.45 FEET TO THE SOUTHEAST CORNER OF SAID LOT 25; THENCE NORTH 00°00'00" EAST ALONG THE EAST LINE OF SAID LOT 25, FOR 100.20 FEET TO THE POINT OF BEGINNING.



LOCATION PLAN
 N.T.S.

AA C000597

THE FULLERTON GROUP
 ARCHITECTURE DEVELOPMENT CONSULTING INTERIOR DESIGN LAND PLANNING
 2000 W. PALM BEACH BLVD., SUITE 1000, WEST PALM BEACH, FLORIDA 33411
 WWW.FULLERTONGROUP.COM

GIRALDA COMPLEX L.L.C.
 2222 PONCE DE LEON BLVD.
 CORAL GABLES, FLORIDA 33134

Giralda Complex L.L.C.
 2222 Ponce de Leon Blvd, Suite # 100
 Coral Gables, Florida 33134
 AA C000597 - 11/09/2007

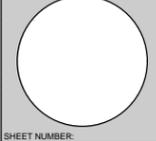
NO.	DESCRIPTION	DATE
1	Project Coordination	04.25.14
2	BASEMENT REMOVAL	03.01.13
3	REVIEW COMMENTS	06.26.08
4	REVIEW COMMENTS	01.25.08
5	PERMIT SET	11.09.07

DRAWING HISTORY:

PROJECT NUMBER: 20426.00

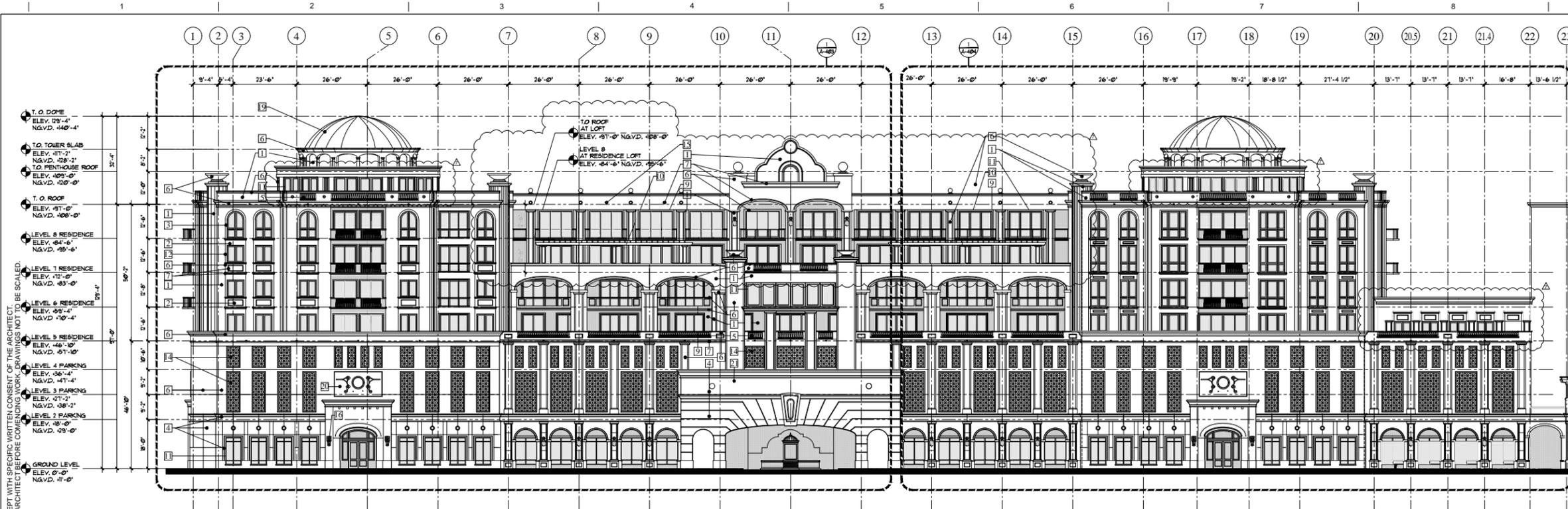
REGISTRATION: AA C000597

JOHN P. FULLERTON - AR 4347



SHEET NUMBER: A-101

PERMIT SET 11 09 2007



SOUTH ELEVATION - Giralda Ave.

SCALE: 1/16"=1'-0"

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PRECAST / STONE NOTE:

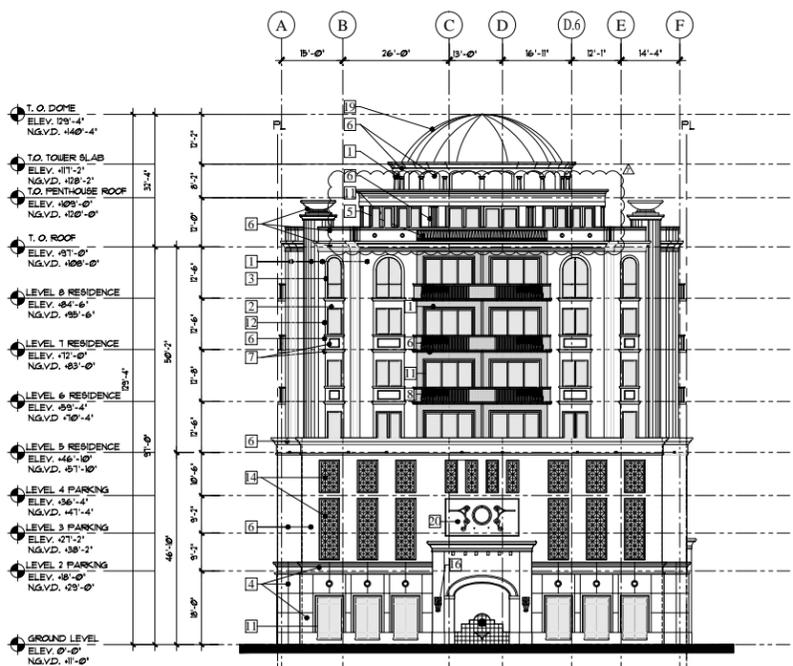
ALL MOULDINGS AND VENEERS, WHEN ACCESSIBLE TO THE PUBLIC, SHALL BE IMITATION STONE, CONCRETE OR NATURAL STONE. ALL NOTES ON THIS SHEET APPLY IN SIMILAR CONDITIONS AT ALL ELEVATIONS. IF THERE IS ANY QUESTION / DISCREPANCY, REFER TO ARCHITECT IMMEDIATELY BEFORE PROCEEDING.

ALL MOULDINGS MUST RETURN PROFILE HORIZONTALLY TO NEAREST WALL UNLESS SHOWN OTHERWISE. SEE SHTS. A-501, -502, -503 FOR LOCATIONS.

NOTE:

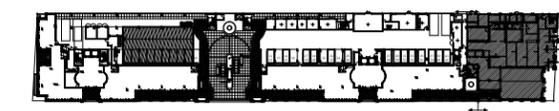
SELECTION OF ALL MATERIALS AND ANCHORAGE OF MOULDINGS, TRIMS, VENEERS AND SURFACE DECORATIVE APPLICATIONS TO BE APPROVED CITY OF CORAL GABLES AS PER THE CITY 2004 ZONING ORDINANCE AND FBC 2004 PRIOR TO INSTALLATION.

LEGEND		
1 3/4" SMOOTH STUCCO FINISH (submit 2 X 2" samples prior to application)	11 ALUMINUM STOREFRONTS - REFER TO SCHEDULE (See sh.# A-804)	21 RAISED DARK BRONZE METAL LETTERS (Under Separate Permit)
2 3/4" LIGHT TEXTURED STUCCO FINISH (submit 2 X 2" samples prior to application)	12 1/2" SCORED STUCCO CONTROL JOINT	22
3 1 1/2" LIGHT TEXTURED STUCCO TRIM	13 ALUMINUM LOUVER	23
4 STONE VENEER (wall, mouldings and trims) (By owner- see notes on this sheet)	14 DARK BRONZE DECORATIVE ALUMINUM GRILLS (See sh.# A-805)	24
5 SMOOTH CONCRETE BALUSTRADE (By owner- see notes on this sheet)	15 6" ROOF PRECAST OVERFLOW DRAINAGE	
6 SMOOTH CONCRETE (Walls, mouldings or trims) (By owner- see notes on this sheet)	16 WALL MOUNTED CITY APPROVED LATTERN (By owner)	L
7 SMOOTH FINISHED ON SITE STUCCO (See notes on this sheet)	17 SIGNAGE (Under separate permit)	SC
8 WROUGHT IRON DECORATIVE RAILING	18 AWNINGS (Under separate permit- submit shop drawings)	T
9 BUTT GLASS AND ALUMINUM RAILING	19 COPPER DOME	
10 DARK BRONZE- ESP- ALUMINUM TRELLIS (OPEN). (Under separate permit- submit shop drawings)	20 DARK BRONZE METAL SHEET	



WEST ELEVATION - Salzedo Street

SCALE: 1/16"=1'-0"



KEY PLAN

Not to Scale SOUTH ELEVATION

AA C000597
THE FULLERTON GROUP
 ARCHITECTURE INTERIOR DESIGN LANDSCAPE ARCHITECTURE
 2222 PONCE DE LEON BLVD., SUITE # 150
 CORAL GABLES, FLORIDA 33134
 PH: (305) 442-6472 FAX: (305) 442-6474

THE GIRALDA COMPLEX
 2222 PONCE DE LEON BLVD.
 CORAL GABLES, FLORIDA 33134

DEVELOPER
 Giralda Complex LLC.
 2222 Ponce De Leon Blvd, Suite # 150
 Coral Gables, Florida 33134
 Ph: (305) 442-6472 Fax: (305) 442-6474

NO.	DESCRIPTION	DATE
1	Project Coordination	04.25.11
2	REVISED COPIES	06.09.07
3	PERMIT SET	11.09.07

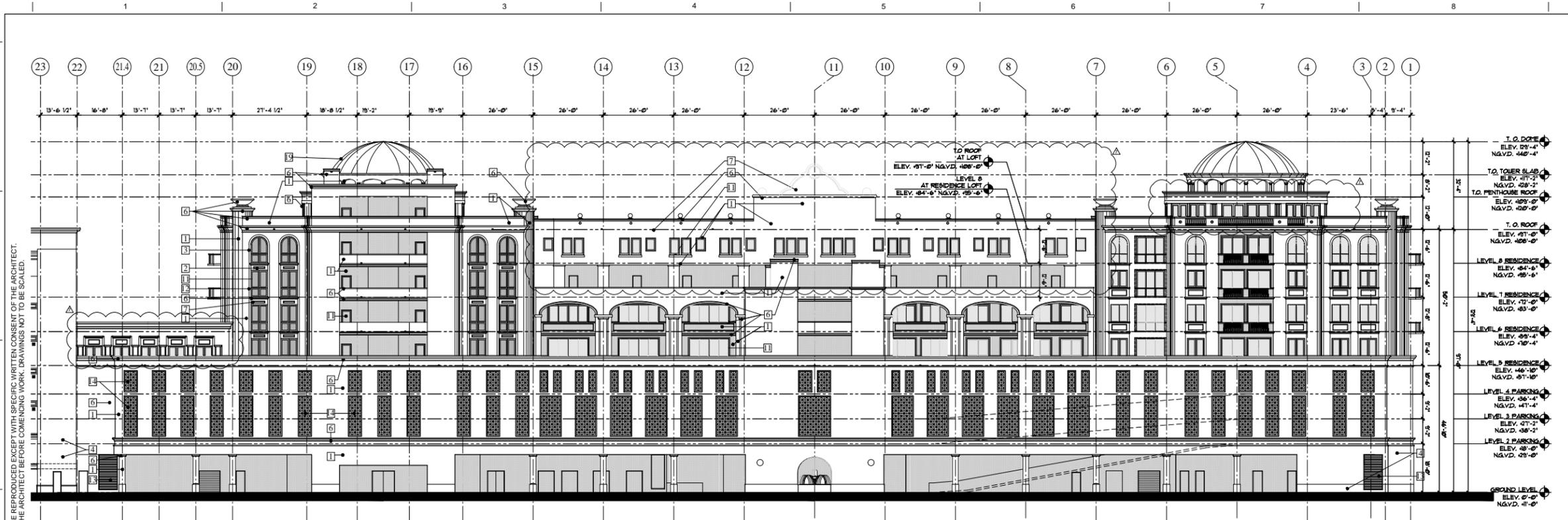
PROJECT NUMBER: 20426.00

REGISTRATION: AA C000597
 JOHN P. FULLERTON - AR 4347



SHEET NUMBER:
A-401

PERMIT SET 11 09 2007

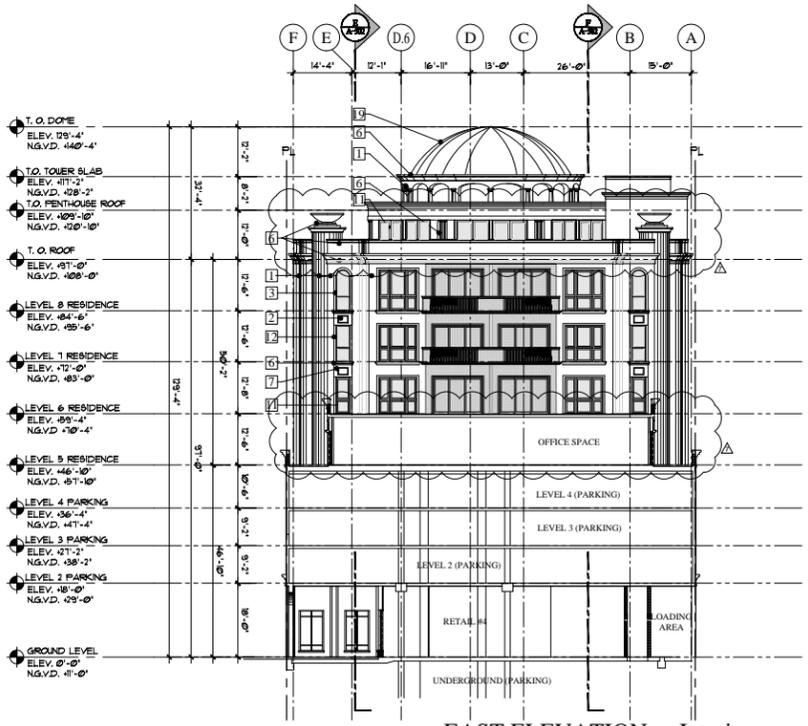


NORTH ELEVATION - Alley
SCALE: 1/16"=1'-0"

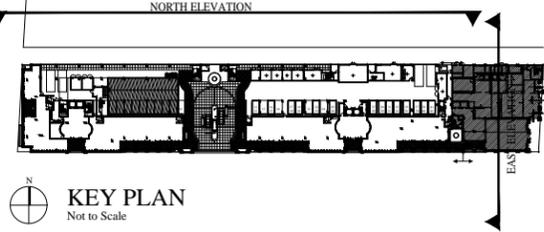
PRECAST / STONE NOTE:
ALL MOULDINGS AND VENEERS, WHEN ACCESSIBLE TO THE PUBLIC, SHALL BE IMITATION STONE, CONCRETE OR NATURAL STONE. ALL NOTES ON THIS SHEET APPLY IN SIMILAR CONDITIONS AT ALL ELEVATIONS. IF THERE IS ANY QUESTION / DISCREPANCY, REFER TO ARCHITECT IMMEDIATELY BEFORE PROCEEDING.
ALL MOULDINGS MUST RETURN PROFILE HORIZONTALLY TO NEAREST WALL UNLESS SHOWN OTHERWISE. SEE SHTS. A-501, -502, 503 FOR LOCATIONS.

NOTE:
SELECTION OF ALL MATERIALS AND ANCHORAGE OF MOULDINGS, TRIMS, VENEERS AND SURFACE DECORATIVE APPLICATIONS TO BE APPROVED CITY OF CORAL GABLES AS PER THE CITY 2004 ZONING ORDINANCE AND FBC 2004 PRIOR TO INSTALLATION.

LEGEND		
1 3/4" SMOOTH STUCCO FINISH (submit 2 X 2" samples prior to application)	11 ALUMINUM STOREFRONTS - REFER TO SCHEDULE (See sh.# A-804)	21 RAISED DARK BRONZE METAL LETTERS (Under Separate Permit)
2 3/4" LIGHT TEXTURED STUCCO FINISH (submit 2 X 2" samples prior to application)	12 1/2" SCORED STUCCO CONTROL JOINT	22
3 1 1/2" LIGHT TEXTURED STUCCO TRIM	13 ALUMINUM LOUVER	23
4 STONE VENEER (wall, mouldings and trims) (By owner- see notes on this sheet)	14 DARK BRONZE DECORATIVE ALUMINUM GRILLS (See sh.# A-805)	24
5 SMOOTH CONCRETE BALUSTRADE (By owner- see notes on this sheet)	15 6" ROOF PRECAST OVERFLOW DRAINAGE	L
6 SMOOTH CONCRETE (Walls, mouldings or trims) (By owner- see notes on this sheet)	16 WALL MOUNTED CITY APPROVED LATTERN (By owner)	SC
7 SMOOTH FINISHED ON SITE STUCCO (See notes on this sheet)	17 SIGNAGE (Under separate permit)	T
8 WROUGHT IRON DECORATIVE RAILING	18 AWNINGS (Under separate permit- submit shop drawings)	
9 BUTT GLASS AND ALUMINUM RAILING	19 COPPER DOME	
10 DARK BRONZE- ESP- ALUMINUM TRELLIS (OPEN). (Under separate permit- submit shop drawings)	20 DARK BRONZE METAL SHEET	



EAST ELEVATION - Interior
SCALE: 1/16"=1'-0"



KEY PLAN
Not to Scale

DEVELOPER:
Giralda Complex L.L.C.
2222 Ponce De Leon Blvd, Suite 2150
Coral Gables, Florida 33134
Tel: 305.442.0077 Fax: 305.442.0078

NO.	DESCRIPTION	DATE
1	Project Coordination	04.25.14
2	REVISED COPIES	05.05.14
3	REVISED COPIES	05.05.14
NO.	DESCRIPTION	DATE

PROJECT NUMBER: 20426.00

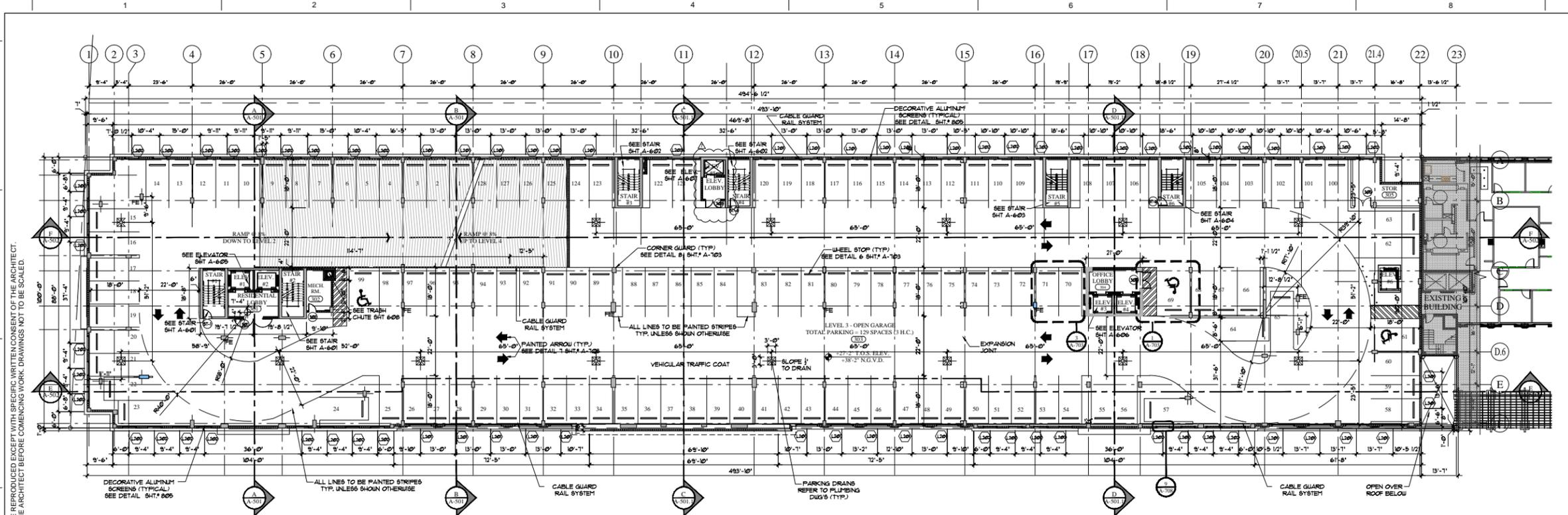
REGISTRATION: AA C000597

JOHN P. FULLERTON - AR 4347

SHEET NUMBER:
A-402

PERMIT SET 11 09 2007

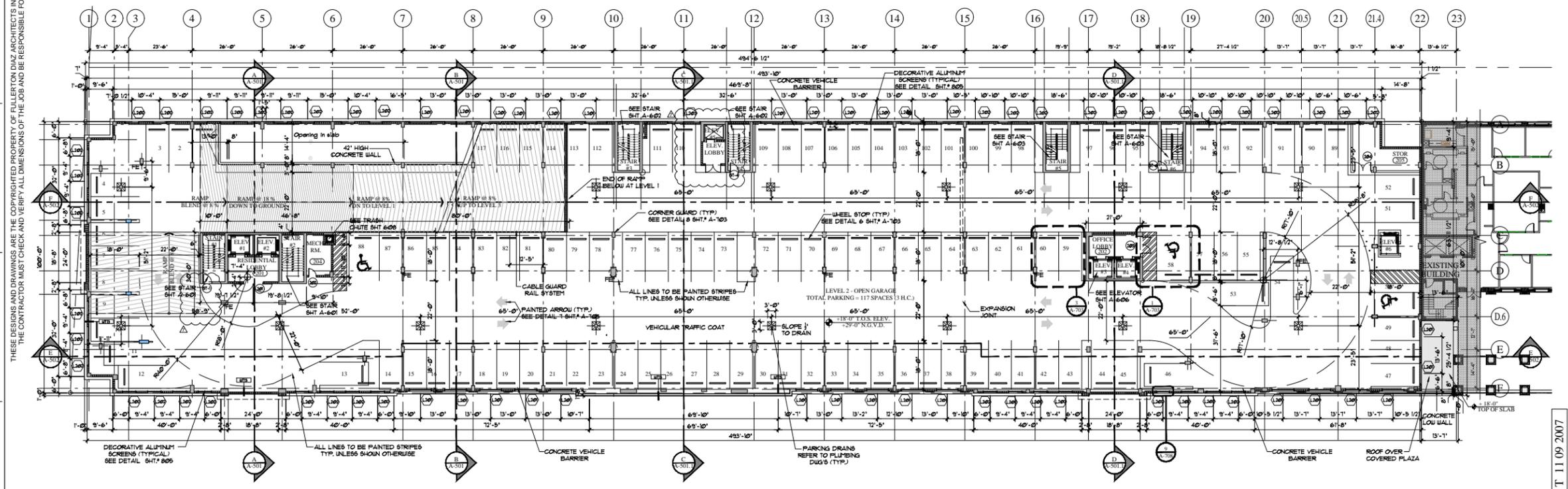
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PARKING SPACES	
REGULAR PARKING:	128
HANDICAP PARKING:	3
TOTAL PARKING THIS LEVEL:	128

GIRALDA PHASE I - LEVEL 3
 GIRALDA PHASE I LLC AGREES THAT IT WILL NOT ALLOW ANY ENTRY TO OCCUPY THE THIRD FLOOR AS AN EDUCATIONAL FACILITY UNTIL SUCH TIME AS THE PROPOSED USER SATISFIES THE DEVELOPER'S SERVICES DIRECTOR AND THE CITY ATTORNEY THAT IT HAS SECURED THE ADDITIONAL PARKING REQUIRED FOR THIS CHANGE IN USE ON THE THIRD FLOOR.

LEVEL 3 (PARKING) - FLOOR PLAN
 SCALE 1/16" = 1'-0"
 ELEV. 27'-2" N.G.V.D. +38'-2"



LEGEND:
 8'-2" MIN CLEAR HEIGHT FOR HANDICAP VAN ACCESS
 OFE
 PARKING GARAGE
 FIRE EXTINGUISHERS 50' MAXIMUM TRAVEL DISTANCE SEE DETAILS SHEET A-101

PARKING SPACES	
REGULAR PARKING:	114
HANDICAP PARKING:	3
TOTAL PARKING THIS LEVEL:	117

LEVEL 2 (PARKING) - FLOOR PLAN
 SCALE 1/16" = 1'-0"
 ELEV. 18'-0" N.G.V.D. +29'-0"

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AA C000597



THE FULLERTON GROUP
 ARCHITECTURE DEVELOPMENT CONSULTING INTERIOR DESIGN LAND PLANNING

2222 Ponce de Leon Blvd, Suite 410
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 P: 305.442.0271 F: 305.442.0272
 www.fullerton.com www.fullerton.com

GIRALDA COMPLEX L.L.C.

2222 PONCE DE LEON BLVD.
 CORAL GABLES, FLORIDA 33134

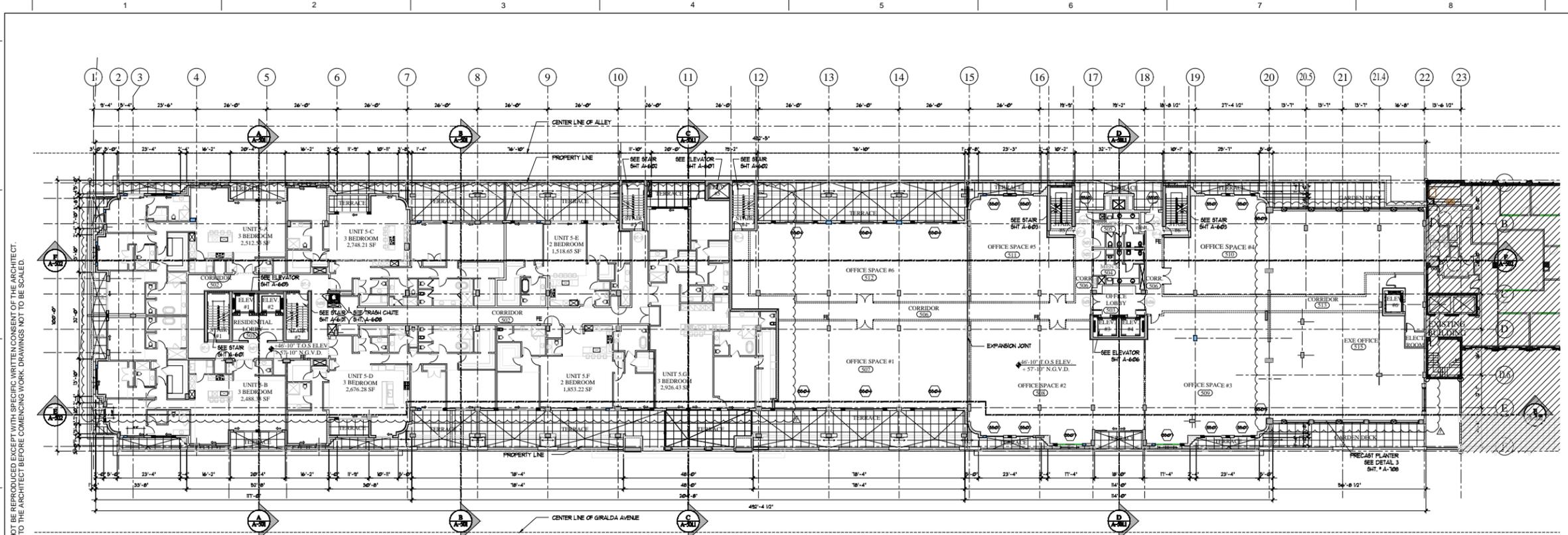
PERMIT SET 11 09 2007

NO.	DESCRIPTION	DATE
1	Project Coordination	04.25.16
2	BASEMENT REPAIR	05-05-16
3	REVISION COMMENTS	05-26-16
4	REVISION COMMENTS	05-26-16
5	PERMIT SET	11.09.07
6	NO. DESCRIPTION	DATE

DRAWING HISTORY:

PROJECT NUMBER: 20426.00
 REGISTRATION: AA C000597
 JOHN P. FULLERTON - AR 4347

A-103

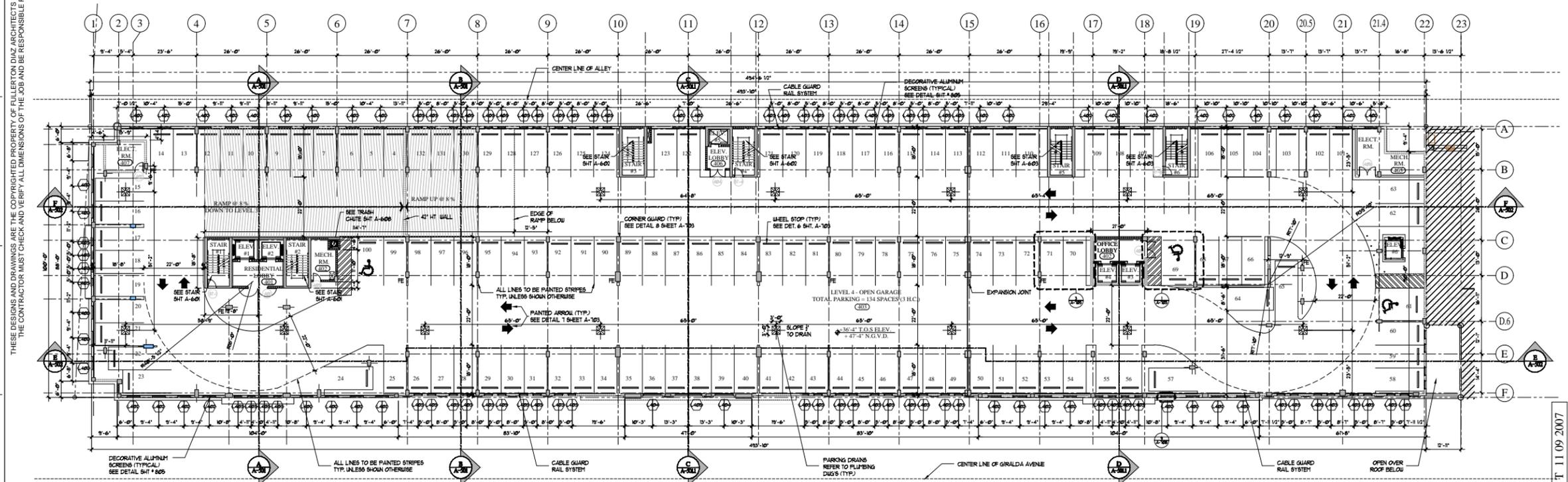


LEGEND:
 O F.E. RESIDENTIAL FIRE EXTINGUISHERS 7" MAXIMUM TRAVEL DISTANCE SEE DETAILS SHEET A-707

NOTE:
 TENANT TO PROVIDE FIRE EXTINGUISHERS AT ALL OFFICE AREAS

LEVEL 5 - FLOOR PLAN
 SCALE 1/16" = 1'-0" ELEV. 46'-10" N.G.V.D. + 57'-10"

GIRALDA PHASE I - LEVEL 3
 GIRALDA PH. LLC AGREES THAT IT WILL NOT ALLOW ANY ENTITY TO OCCUPY THE THIRD FLOOR AS AN EDUCATIONAL FACILITY UNTIL SUCH TIME AS THE PROPOSED USER SATISFIES THE DEVELOPMENT SERVICES DIRECTOR AND THE CITY ATTORNEY THAT IT HAS SECURED THE ADDITIONAL PARKING REQUIRED FOR THIS CHANGE. IN USE ON THE THIRD FLOOR.



LEGEND:
 O F.E. PARKING GARAGE FIRE EXTINGUISHERS 5" MAXIMUM TRAVEL DISTANCE SEE DETAILS SHEET A-707

PARKING SPACES

REGULAR PARKING	129
HANDICAP PARKING	3
TOTAL PARKING THIS LEVEL	132

LEVEL 4 - (PARKING) FLOOR PLAN
 SCALE 1/16" = 1'-0" ELEV. 36'-4" N.G.V.D. + 47'-4"

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AA C000597

THE FULLERTON GROUP
 ARCHITECTURE INTERIOR DESIGN LAND PLANNING
 DEVELOPMENT CONSULTING

GIRALDA COMPLEX L.L.C.
 2222 PONCE DE LEON BLVD.
 CORAL GABLES, FLORIDA 33134

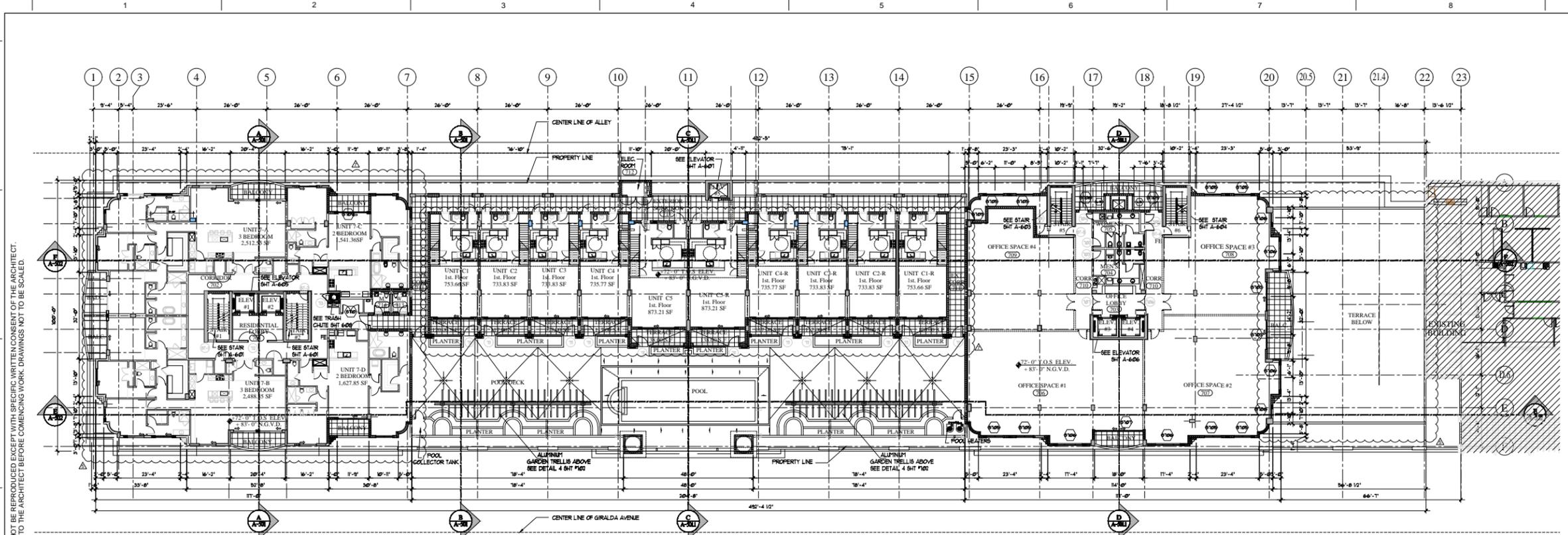
Project Coordination	04.25.16
PERMIT SET	11.09.07
NO. DESCRIPTION	DATE
DRAWING HISTORY:	

PROJECT NUMBER: 20426.00

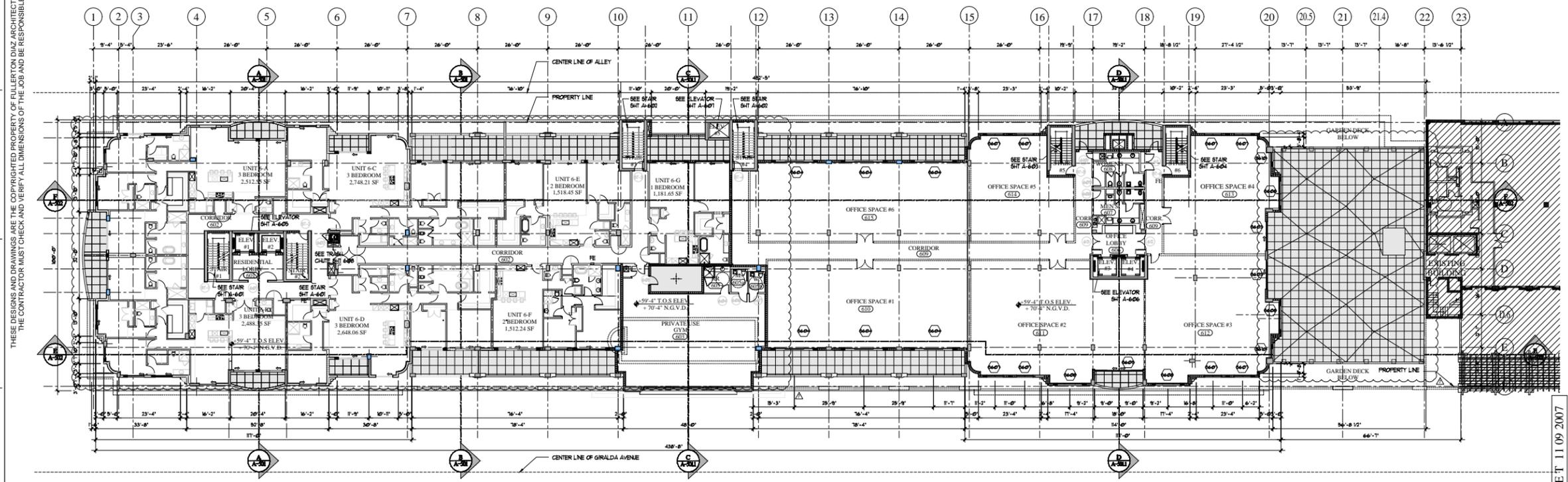
REGISTRATION: AA C000597
 JOHN P. FULLERTON - AR 4347

PERMIT SET 11 09 2007

SHEET NUMBER:
A-104



LEVEL 7 - (POOL DECK) FLOOR PLAN
 SCALE 1/16" = 1'-0" ELEV. 72'-0" N.G.V.D. + 83'-0"



LEVEL 6 - FLOOR PLAN
 SCALE 1/16" = 1'-0" ELEV. 59'-4" N.G.V.D. + 70'-4"

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LEGEND:
 ○ F.E. RESIDENTIAL
 FIRE EXTINGUISHERS 75'
 MAXIMUM TRAVEL DISTANCE
 SEE DETAILS SHEET A-707

NOTE:
 TENANT TO PROVIDE FIRE EXTINGUISHERS AT
 ALL OFFICE AREAS

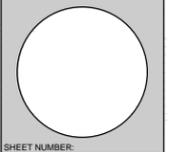
REVISIONS

NO.	DESCRIPTION	DATE
1	Project Coordination	04.25.16
2	BASEMENT REMOVAL	03.01.13
3	FAIR CALCULATIONS	02.02.10
4	REVIEW COMMENTS	03.25.08
5	PERMIT SET	11.09.07
6	NO. DESCRIPTION	DATE

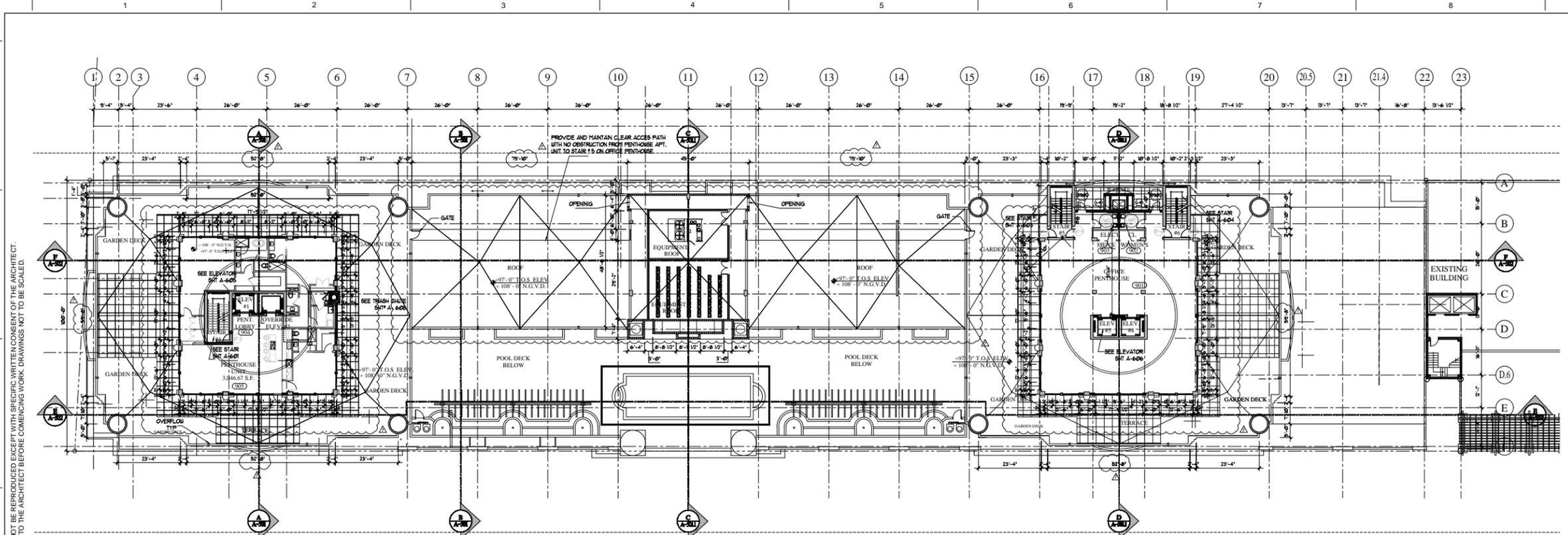
DRAWING HISTORY:

PROJECT NUMBER: 20426.00

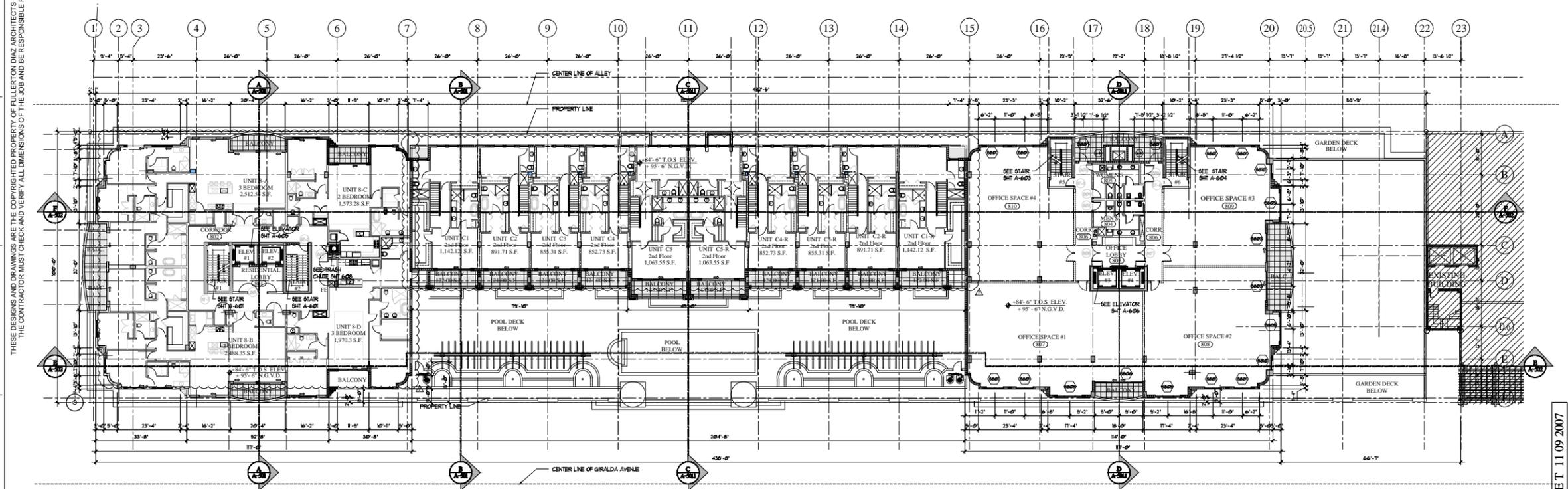
REGISTRATION: AA C000597
 JOHN P. FULLERTON - AR 4347



PERMIT SET 11 09 2007



ROOF / PENTHOUSE LEVEL FLOOR PLAN
 SCALE 1/16" = 1'-0" ELEV. 97'-0" N.G.V.D. + 108'-0"



LEVEL 8 - FLOOR PLAN
 SCALE 1/16" = 1'-0" ELEV. 84'-6" N.G.V.D. + 95'-6"

LEGEND:
 ○ F.E. RESIDENTIAL
 ○ F.E. FIRE EXTINGUISHERS 75'
 MAXIMUM TRAVEL DISTANCE
 SEE DETAILS SHEET A-707

NOTE:
 TENANT TO PROVIDE FIRE EXTINGUISHERS AT ALL OFFICE AREAS

THESE DESIGNS AND DRAWINGS ARE THE COPYRIGHTED PROPERTY OF FULLERTON DIAZ ARCHITECTS INC. ARCHITECTS AND PLANNERS AND MAY NOT BE REPRODUCED EXCEPT WITH SPECIFIC WRITTEN CONSENT OF THE ARCHITECT. THE CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS OF THE JOB AND BE RESPONSIBLE FOR SAME. REPORTING ANY DISCREPANCIES TO THE ARCHITECT BEFORE COMMENCING WORK. DRAWINGS NOT TO BE SCALED.

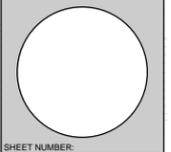


GIRALDA COMPLEX L.L.C.
 2222 PONCE DE LEON BLVD.
 CORAL GABLES, FLORIDA 33134

NO.	DESCRIPTION	DATE
1	Project Coordination	04.25.16
2	BASEMENT REMOVAL	03.01.13
3	REVIEW COMMENTS	06.26.08
4	REVIEW COMMENTS	03.20.08
5	PERMIT SET	11.09.07

PROJECT NUMBER: 20426.00

REGISTRATION: AA C000597
 JOHN P. FULLERTON - AR 4347



SHEET NUMBER:
A-106

PERMIT SET 11 09 2007

CITY OF CORAL GABLES, FLORIDA

ORDINANCE NO. 2007-04

AN ORDINANCE OF THE CITY COMMISSION APPROVING A CHANGE OF LAND USE FROM "COMMERCIAL, LOW-RISE INTENSITY" TO "COMMERCIAL, MID-RISE INTENSITY", AND MIXED-USE SITE PLAN REVIEW PURSUANT TO ZONING CODE SECTION 3-5 FOR THE PROPOSED MIXED-USE PROJECT REFERRED TO AS "GIRALDA COMPLEX", ON THE PROPERTY LEGALLY DESCRIBED AS LOTS 25-48, BLOCK 28, SECTION "K" (2222 PONCE DE LEON BOULEVARD), CORAL GABLES, FLORIDA, AND INCLUDING REQUIRED CONDITIONS; PROVIDING FOR A REPEALER PROVISION, A SAVINGS CLAUSE AND SEVERABILITY CLAUSE, AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, Application No. 02-05-312-P was submitted for approval in order to amend the Future Land Use Map of the "City of Coral Gables Comprehensive Plan" from "Commercial, Low-Rise Intensity" to "Commercial, Mid-Rise Intensity", and mixed-use site plan review for the project referred to as the "Giralda Complex", on the property legally described as Lots 25-48, Block 28, Section "K" (2222 Ponce de Leon Boulevard), Coral Gables, Florida; and

WHEREAS, the proposed mixed-use project submitted and reviewed concurrently with the change of land use consists of an eight (8) story development containing commercial retail and office space, 44 multi-family residential units and 474 on-site parking spaces; and

WHEREAS, the City of Coral Gables, pursuant to Florida Statutes and the City of Coral Gables Zoning Code, has designated the Planning and Zoning Board as the Local Planning Agency; and

WHEREAS, after notice of public hearing duly published and notification of all property owners of record within one thousand (1000) feet, public hearings were held before the Local Planning Agency (Planning and Zoning Board) of the City of Coral Gables on October 11, 2006 at which hearings all interested persons were afforded the opportunity to be heard; and

WHEREAS, at the public hearing held on October 11, 2006, the Local Planning Agency (Planning and Zoning Board) recommended approval of the change of land use and mixed-use site plan with conditions (vote: 6-0); and

WHEREAS, the change of land use request is considered a small scale amendment, and will not require review by the Department of Community Affairs; and,

WHEREAS, the applicant has proffered various improvements and contributions to mitigate the proposed development's potential impact as a part of this application, the applicant has agreed to conditions of approval as outlined and provided herein for the proposed mixed-use project; and

WHEREAS, pursuant to the provisions of Chapter 163.3187 Florida Statutes, the City Commission held a public hearing on November 15, 2006 at which hearing all interested persons were afforded an opportunity to be heard and this application was approved on First Reading;

NOW, THEREFORE, BE IT ORDAINED BY THE COMMISSION OF THE CITY OF CORAL GABLES:

SECTION 1. The foregoing "WHEREAS" clauses are hereby ratified and confirmed as being true and correct and hereby made a specific part of this Ordinance upon adoption hereof.

SECTION 2. That the request for a land use amendment to the "City of Coral Gables Comprehensive Plan," and in particular that portion of the Future Land Use Element, known as the Future Land Use Map of Coral Gables, shall be and it is hereby amended to show henceforth a change in the Future Land Use by changing the "Land Use Category" from "Commercial, Low-Rise Intensity" to "Commercial, Mid-Rise Intensity as set forth in Application No. 02-05-312-P on the property legally described as Lots 25-48, Block 28, Section "K" (2222 Ponce de Leon Boulevard), Coral Gables, Florida.

SECTION 3. The request for site plan review for the construction of the proposed mixed-use project referred to as the "Giralda Complex" on the property legally described as Lots 25-48, Block 28, Section "K" (2222 Ponce de Leon Boulevard), Coral Gables, Florida, as set forth in Application No. 02-05-312-P shall be and are hereby approved with the following conditions:

1. Application/supporting documentation. Construction of the project shall be in conformance with the following:
 - a. Site plan, building elevations and building program contained in application package prepared by Fullerton Diaz Architects, Inc., Application Sheets No. 1-54, dated 08.02.06.
 - b. Landscape plan prepared by Alex Knight, Landscape Architecture and Planning, Application Sheets No. 47-54 of 54, dated 08.02.06.
 - c. Streetscape improvements and other associated public realm improvements prepared by Alex Knight, Landscape Architecture and Planning, Application Sheets No. 42-54 of 54, dated 08.02.06.
 - d. Traffic study prepared by Transport Analysis Professionals, Inc., dated January, 2005.
 - e. Improvements and/or conditions contained herein, unless otherwise specified herein, shall be completed prior to receipt of final Certificate of Occupancy (CO).
 - f. All representations and exhibits as prepared and provided to the Planning Department as a part of the application submittal package dated 02.01.05, and revised and re-submitted on 07.17.06.
 - g. All representations proffered by the applicant's representatives provided during public hearing review.
 - h. Changes to the plans required by the City Commission as part of the review of this application at public hearings.
2. Revisions to plans, elevations and all supporting documents.
 - a. Modification to all applicable documents that are necessary as a part of the public hearing

review and approval of the application shall be submitted to the Planning Department within 60 days of final approval for verification that all conditions of approval are satisfied.

3. Changes to approved plans.
 - a. The applicant, successors or assigns shall advise of any changes to the plans and drawings referenced above as a part of building permit review process. Changes shall require Planning Department review and approval to determine the extent of changes and may require reconsideration by the Planning and Zoning Board and City Commission as determined by the Planning Director.
 - b. The applicant, successors or assigns shall advise the Department of any applicable changes in writing prior to the issuance of a temporary Certificate of Occupancy (CO) for any principal structure for each phase of the project.
4. General.
 - a. Restrictive Covenant. Within 30 days of approval of the adoption of the ordinances, the property owner, its successors or assigns shall secure City Attorney review and approval of a Restrictive Covenant outlining all conditions of approval required by the City Commission. Failure to submit the draft Restrictive Covenant within the specified time frame shall render all approvals void.
5. Prior to the issuance of a building permit, or as otherwise specified in the Restrictive Covenant, the property owner, its successors or assigns, shall adhere to the following conditions:
 - a. Public Realm Improvements mitigation improvements as proffered and agreed to by the applicant.
 - 1) On-site pedestrian amenities. Provide additional pedestrian amenities at the publicly accessed open spaces, including the pedestrian paseos, lobby entrances, pedestrian walkway along alleyway and plaza colonnade. These additional pedestrian amenities shall include, but not be limited to, public art, urban type landscaping and movable planters, water features, information kiosks and pedestrian scale lighting. All proposed on-site pedestrian amenities shall be subject to review and approval by the Directors of Public Works, Public Service and Planning Departments.
 - 2) Public realm improvements. Provide all streetscape and landscaping improvements proposed within public rights-of-way per the City Master Streetscape Plan along both sides of Giralda Avenue between Salzedo Street and Ponce de Leon Boulevard as presented as part of the submitted application package on Application Sheets Nos. 20, 28, 29, and 42-54 of 54, dated 08.02.06. This includes, but is not limited to the following: landscaping, drainage, curbing, structural soil, directional signage, street lighting, street furniture including benches, waste cans, lighting standards, bicycle racks, newspaper racks, moveable planters and other related items. All proposed public realm improvements and landscaping within public rights-of-way shall conform with the City's Master Streetscape Plan, subject to review and approval by the Directors of Public Works, Public Service and Planning Departments.
 - 3) City Museum urban plaza. Provide all site improvements and landscaping for the urban plaza located on the west side of the future City Museum fronting onto Salzedo Street as proposed and determined by the City.
 - b. Parking and traffic circulation.
 - 1) Sale or leasing. The sale or leasing of parking spaces to any person, business or entity that is not a tenant or resident of this project shall be prohibited.

- 2) Parking garage gates. All vehicular and parking garage gates shall be included and shown on site and building plans. No vehicular gates shall be installed that prohibit or restrict required and designated commercial parking spaces.
- c. Affordable housing. The applicant agrees to comply with all legislation adopted by the City Commission, within one (1) year after the issuance of a building permit, to promote the provision and/or retention of affordable housing, as defined by the City Commission, related to the findings of the City's Affordable Housing Study (April 2006).
6. Prior to the issuance of the final Certificate of Occupancy (CO), the owner, its successors or assigns shall complete the following:
 - a. Traffic improvements. Install improvements required as identified in submitted traffic study prepared by Transport Analysis Professionals, Inc., dated January, 2005, and as recommended by and subject to review and approval of the Director of Public Works Department, as follows:
 - 1) Intersection of Giralda Avenue and LeJeune Road shall be signalized in conjunction with the construction of the proposed project.
7. Prior to the issuance of a building permit, the property owner, its successors or assigns, shall apply for and receive the following required City reviews and approvals.
 - a. Right-of-way encroachments. Secure City Commission review and approval of all proposed encroachments into public rights-of-way.
 - b. Infrastructure improvements. Prepare and submit an infrastructure improvement plan for the coordination and construction of water, sewer, gas, electrical and other infrastructure facilities upon request by the Director of the Public Works Department for review and approval.

SECTION 4. All rights, actions, proceedings and Contracts of the City, including the City Commissioners, the City Manager, or any of its departments, boards or officers undertaken pursuant to the existing code provisions, shall be enforced, continued, or completed, in all respects, as though begun or executed hereunder.

SECTION 5. All ordinance or parts of ordinances that are inconsistent or in conflict with the provisions of this Ordinance are repealed.

SECTION 6. If any section, part of session, paragraph, clause, phrase or word of this Ordinance is declared invalid, the remaining provisions of this Ordinance shall not be affected.

SECTION 7. It is the intention of the City Commission that the provisions of this Ordinance shall become and be made a part of the Code of the City of Coral Gables, Florida, as amended, which provisions may be renumbered or relettered and that the word ordinance be changed to "section", "article", or other appropriate word to accomplish such intention.

SECTION 8. This ordinance shall become effective upon the date of its adoption herein, 2006.

2006.

PASSED AND ADOPTED THIS TWENTY-THIRD DAY OF JANUARY, A.D.,

(Moved: Anderson / Seconded: Cabrera)
(Yeas: Anderson, Cabrera, Slesnick)
(Absent: Kerdyk, Withers)
(Majority / 3-0 Vote)
(Agenda Item E-2)

APPROVED:



DONALD D. SLESNICK II
MAYOR

ATTEST:



WALTER J. FOEMAN
CITY CLERK

APPROVED AS TO FORM
AND LEGAL SUFFICIENCY:



ELIZABETH M. HERNANDEZ
CITY ATTORNEY

CITY OF CORAL GABLES, FLORIDA

ORDINANCE NO. 2008-03

AN ORDINANCE OF THE CITY OF CORAL GABLES AMENDING ORDINANCE NO. 2007-04 WHICH APPROVED A CHANGE OF LAND USE FROM "COMMERCIAL, LOW-RISE INTENSITY" TO "COMMERCIAL, MID-RISE INTENSITY", AND MIXED-USE SITE PLAN REVIEW PURSUANT TO ZONING CODE SECTION 3-5 FOR THE PROPOSED MIXED-USE PROJECT REFERRED TO AS "GIRALDA COMPLEX", ON THE PROPERTY LEGALLY DESCRIBED AS LOTS 25-48, BLOCK 28, SECTION "K" (2222 PONCE DE LEON BOULEVARD), CORAL GABLES, FLORIDA, AND INCLUDED REQUIRED CONDITIONS; PROVIDING FOR A REPEALER PROVISION, A SAVINGS CLAUSE AND SEVERABILITY CLAUSE, AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, Application No. 02-05-312-P was submitted for approval in order to amend the Future Land Use Map of the "City of Coral Gables Comprehensive Plan" from "Commercial, Low-Rise Intensity" to "Commercial, Mid-Rise Intensity", and mixed-use site plan review for the project referred to as the "Giralda Complex", on the property legally described as Lots 25-48, Block 28, Section "K" (2222 Ponce de Leon Boulevard), Coral Gables, Florida; and

WHEREAS, the proposed mixed-use project submitted and reviewed concurrently with the change of land use consists of an eight (8) story development containing commercial retail and office space, 44 multi-family residential units and 474 on-site parking spaces; and

WHEREAS, the City of Coral Gables, pursuant to Florida Statutes and the City of Coral Gables Zoning Code, has designated the Planning and Zoning Board as the Local Planning Agency; and

WHEREAS, after notice of public hearing duly published and notification of all property owners of record within one thousand (1000) feet, public hearings were held before the Local Planning Agency (Planning and Zoning Board) of the City of Coral Gables on October 11, 2006 at which hearings all interested persons were afforded the opportunity to be heard; and

WHEREAS, at the public hearing held on October 11, 2006, the Local Planning Agency (Planning and Zoning Board) recommended approval of the change of land use and mixed-use site plan with conditions (vote: 6-0); and

WHEREAS, the change of land use request is considered a small scale amendment, and will not require review by the Department of Community Affairs; and

WHEREAS, the applicant has proffered various improvements and contributions to mitigate the proposed development's potential impact as a part of this application, the applicant has agreed to conditions of approval as outlined and provided herein for the proposed mixed-use project; and

WHEREAS, pursuant to the provisions of Chapter 163.3187 Florida Statutes, the City Commission approved Application No. 02-05-312-P on January 23, 2007 with conditions; and

WHEREAS, the City Commission held a public hearing on January 8, 2008 at which hearing all interested persons were afforded an opportunity to be heard and the proposed amendments to the previously approved conditions of approval were approved (vote: 3-1) on First Reading;

NOW, THEREFORE, BE IT ORDAINED BY THE COMMISSION OF THE CITY OF CORAL GABLES:

SECTION 1. The foregoing "WHEREAS" clauses are hereby ratified and confirmed as being true and correct and hereby made a specific part of this Ordinance upon adoption hereof.

SECTION 2. That the request for a land use amendment to the "City of Coral Gables Comprehensive Plan," and in particular that portion of the Future Land Use Element, known as the Future Land Use Map of Coral Gables, shall be and it is hereby amended to show henceforth a change in the Future Land Use by changing the "Land Use Category" from "Commercial, Low-Rise Intensity" to "Commercial, Mid-Rise Intensity as set forth in Application No. 02-05-312-P on the property legally described as Lots 25-48, Block 28, Section "K" (2222 Ponce de Leon Boulevard), Coral Gables, Florida.

SECTION 3. The request for site plan review for the construction of the proposed mixed-use project referred to as the "Giralda Complex" on the property legally described as Lots 25-48, Block 28, Section "K" (2222 Ponce de Leon Boulevard), Coral Gables, Florida, as set forth in Application No. 02-05-312-P shall be and are hereby approved with the following conditions:

1. Application/supporting documentation. Construction of the project shall be in conformance with the following:
 - a. Site plan, building elevations and building program contained in application package prepared by Fullerton Diaz Architects, Inc., Application Sheets No. 1-54, dated 08.02.06.
 - b. Landscape plan prepared by Alex Knight, Landscape Architecture and Planning, Application Sheets No. 47-54 of 54, dated 08.02.06.
 - c. Streetscape improvements and other associated public realm improvements prepared by Alex Knight, Landscape Architecture and Planning, Application Sheets No. 42-54 of 54, dated 08.02.06.
 - d. Traffic study prepared by Transport Analysis Professionals, Inc., dated January, 2005.
 - e. Improvements and/or conditions contained herein, unless otherwise specified herein, shall be completed prior to receipt of final Certificate of Occupancy (CO).
 - f. All representations and exhibits as prepared and provided to the Planning Department as a part of the application submittal package dated 02.01.05, and revised and re-submitted on 07.17.06.

- g. All representations proffered by the applicant's representatives provided during public hearing review.
 - h. Changes to the plans required by the City Commission as part of the review of this application at public hearings.
2. Revisions to plans, elevations and all supporting documents.
 - a. Modification to all applicable documents that are necessary as a part of the public hearing review and approval of the application shall be submitted to the Planning Department within 60 days of final approval for verification that all conditions of approval are satisfied.
 3. Changes to approved plans.
 - a. The applicant, successors or assigns shall advise of any changes to the plans and drawings referenced above as a part of building permit review process. Changes shall require Planning Department review and approval to determine the extent of changes and may require reconsideration by the Planning and Zoning Board and City Commission as determined by the Planning Director.
 - b. The applicant, successors or assigns shall advise the Department of any applicable changes in writing prior to the issuance of a temporary Certificate of Occupancy (CO) for any principal structure for each phase of the project.
 4. General.
 - a. Restrictive Covenant. Within 30 days of approval of the adoption of the ordinances, the property owner, its successors or assigns shall secure City Attorney review and approval of a Restrictive Covenant outlining all conditions of approval required by the City Commission. Failure to submit the draft Restrictive Covenant within the specified time frame shall render all approvals void.
 5. Prior to the issuance of a building permit, or as otherwise specified in the Restrictive Covenant, the property owner, its successors or assigns, shall adhere to the following conditions:
 - a. Public Realm Improvements mitigation improvements as proffered and agreed to by the applicant.
 - 1) On-site pedestrian amenities. Provide additional pedestrian amenities at the publicly accessed open spaces, including the pedestrian paseos, lobby entrances, pedestrian walkway along alleyway and plaza colonnade. These additional pedestrian amenities shall include, but not be limited to, public art, urban type landscaping and movable planters, water features, information kiosks and pedestrian scale lighting. All proposed on-site pedestrian amenities shall be subject to review and approval by the Directors of Public Works, Public Service and Planning Departments.
 - 2) Public realm improvements. Provide all streetscape and landscaping improvements proposed within public rights-of-way per the City Master Streetscape Plan along both sides of Giralda Avenue between Salzedo Street and Ponce de Leon Boulevard as presented as part of the submitted application package on Application Sheets Nos. 20, 28, 29, and 42-54 of 54, dated 08.02.06. This includes, but is not limited to the following: landscaping, drainage, curbing, structural soil, directional signage, street lighting, street furniture including benches, waste cans, lighting standards, bicycle racks, newspaper racks, moveable planters and other related items. All proposed public realm improvements and landscaping within public rights-of-way shall conform with the City's Master Streetscape Plan, subject to review and approval by the Directors of Public Works, Public Service and Planning Departments.

- 3) City Museum urban plaza. As proffered by the applicant, an amount of \$486,743.00 dollars shall be provided to the City for all site improvements and landscaping for the urban plaza located at the City Museum.
 - b. Parking and traffic circulation.
 - 1) Sale or leasing. The sale or leasing of parking spaces to any person, business or entity that is not a tenant or resident of this project shall be prohibited.
 - 2) Parking garage gates. All vehicular and parking garage gates shall be included and shown on site and building plans. No vehicular gates shall be installed that prohibit or restrict required and designated commercial parking spaces.
 - c. Affordable housing. The applicant agrees to comply with all legislation adopted by the City Commission, within one (1) year after the issuance of a building permit, to promote the provision and/or retention of affordable housing, as defined by the City Commission, related to the findings of the City's Affordable Housing Study (April 2006).
6. Prior to the issuance of the final Certificate of Occupancy (CO), the owner, its successors or assigns shall complete the following:
 - a. Traffic improvements. Install improvements required as identified in submitted traffic study prepared by Transport Analysis Professionals, Inc., dated January, 2005, and as recommended by and subject to review and approval of the Director of Public Works Department, as follows:
 - 1) Intersection of Giralda Avenue and LeJeune Road shall be signalized in conjunction with the construction of the proposed project.
 7. Prior to the issuance of a building permit, the property owner, its successors or assigns, shall apply for and receive the following required City reviews and approvals.
 - a. Right-of-way encroachments. Secure City Commission review and approval of all proposed encroachments into public rights-of-way.
 - b. Infrastructure improvements. Prepare and submit an infrastructure improvement plan for the coordination and construction of water, sewer, gas, electrical and other infrastructure facilities upon request by the Director of the Public Works Department for review and approval.

SECTION 4. All rights, actions, proceedings and Contracts of the City, including the City Commissioners, the City Manager, or any of its departments, boards or officers undertaken pursuant to the existing code provisions, shall be enforced, continued, or completed, in all respects, as though begun or executed hereunder.

SECTION 5. All ordinance or parts of ordinances that are inconsistent or in conflict with the provisions of this Ordinance are repealed.

SECTION 6. If any section, part of session, paragraph, clause, phrase or word of this Ordinance is declared invalid, the remaining provisions of this Ordinance shall not be affected.

SECTION 7. It is the intention of the City Commission that the provisions of this Ordinance shall become and be made a part of the Code of the City of Coral Gables, Florida, as amended, which provisions may be renumbered or relettered and that the word ordinance be changed to "section", "article", or other appropriate word to accomplish such intention.

SECTION 8. This ordinance shall become effective immediately upon the date of its passage and adoption herein.

PASSED AND ADOPTED THIS TWENTY-SECOND DAY OF JANUARY, A.D. 2008.

(Moved: Anderson / Seconded: Withers)
(Yeas: Withers, Anderson, Slesnick)
(Nays: Cabrera)
(Absent: Kerdyk)
(Majority (3-1) Vote)
(Agenda Item: E-1)

APPROVED:



DONALD D. SLESNICK II
MAYOR

ATTEST:



WALTER FOEMAN
CITY CLERK

APPROVED AS TO FORM
AND LEGAL SUFFICIENCY:



ELIZABETH M. HERNANDEZ
CITY ATTORNEY

CITY OF CORAL GABLES, FLORIDA

RESOLUTION NO. 2008-86

A RESOLUTION APPROVING EXISTING ENCROACHMENTS INTO THE RIGHT-OF-WAY TO REMAIN, ADJACENT TO 2222 PONCE DE LEON BOULEVARD, SUBJECT TO THE REQUIREMENTS OF THE PUBLIC WORKS DEPARTMENT.

BE IT RESOLVED BY THE COMMISSION OF THE CITY OF CORAL GABLES:

SECTION 1. That the request for encroachments, consisting of a soakage pit including a slab covered trench and a manhole for building drainage purposes, adjacent to 2222 Ponce de Leon Boulevard on property legally described as Lots 25 through 29, and the East 24.1 feet of Lot 30, Block 28 of "Coral Gables Section "K", according to the plat thereof as recorded in Plat Book 8, Page 33 of the Public Records of Miami-Dade County, shall be and it is hereby approved, subject to the following requirements of the Public Works Department:

- a. That the existing encroachments shall conform to the Florida Building Code and all pertinent Codes.
- b. That the City of Coral Gables reserves the right to remove, add, maintain, or have the Applicant remove any of the improvements within the right-of-way and at Applicant's expense.
- c. That the Applicant maintain the existing encroachments in good condition at all times and at Applicant's expense.
- d. That the Applicant meet with the City Attorney's office for the purpose of providing all the information necessary for that office to prepare a Restrictive Covenant to be executed by the Applicant which runs with the title of the property, and which states, in addition to the above mentioned, that the Applicant will provide Public Liability Insurance coverage for the encroachment in the minimum limits required by the City, and naming the City as an additional insured under the policy.
- e. That the copies of the Restrictive Covenant, when fully executed and filed, together with certification of required insurance, shall be presented to the Building and Zoning Department and to the Public Works Department and permits thereafter be obtained for the work from both of these Departments.

- f. That the Applicant shall replace, at the Applicant's expense, any portion of the encroachment affected, in the event the Public Works Department must issue a permit for a utility cut in the future in the area in which the encroachments are approved, the Applicant shall replace the proposed encroachments so cut by the utility at Applicant's expense.

SECTION 2. That this resolution shall become effective upon the date of its passage and adoption herein.

PASSED AND ADOPTED THIS TWENTY-SIXTH DAY OF JUNE, A. D., 2008.

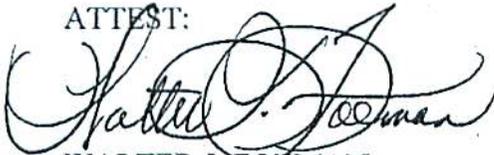
(Moved: Kerdyk / Seconded: Withers)

(Yeas: Withers, Anderson, Cabrera, Kerdyk, Slesnick)

(Unanimous: 5-0 Vote)

(Agenda Item: D-2)

ATTEST:



WALTER J. FOEMAN
CITY CLERK

APPROVED:



DONALD D. SLESNICK II
MAYOR

APPROVED AS TO FORM AND
LEGAL SUFFICIENCY:

ELIZABETH M. HERNANDEZ
CITY ATTORNEY

CITY OF CORAL GABLES, FLORIDA

RESOLUTION NO. 2010-31

RESOLUTION AMENDING RESOLUTION NO. 2009-358,
RELATING TO FEDERAL LEGISLATIVE SERVICES.

WHEREAS, the City Commission adopted Resolution No. 2009-358 authorizing an agreement for federal legislative services; and

WHEREAS, the City Commission approved an amount not to exceed five thousand dollars (\$5,000.00) a month;

NOW, THEREFORE, BE IT RESOLVED BY THE COMMISSION OF THE CITY OF CORAL GABLES:

SECTION 1. That the foregoing "Whereas" clauses are hereby ratified and confirmed as being true and correct and are hereby made a specific part of this resolution adopted hereof.

SECTION 2. That the City Commission does hereby authorize the reimbursement for reasonable expenses in connection with services provided.

SECTION 3. That this resolution shall become effective upon the date of its passage and adoption herein.

PASSED AND ADOPTED THIS TENTH DAY OF FEBRUARY, A.D., 2010.
(Moved: Kerdyk / Seconded: Anderson)
(Yeas: Kerdyk, Withers, Anderson, Cabrera, Slesnick)
(Unanimous: 5-0 Vote)
(Agenda Item: C-18)

APPROVED:



DONALD D. SLESNICK II
MAYOR

APPROVED AS TO FORM AND
LEGAL SUFFICIENCY:



ELIZABETH M. HERNANDEZ
CITY ATTORNEY

ATTEST:



WALTER J. FOEMAN
CITY CLERK

DECLARATION OF RESTRICTIVE COVENANTS

KNOWN ALL BY THESE PRESENTS, that **GIRALDA COMPLEX, LLC & GIRALDA PB, LLC**, Florida limited liability companies, hereinafter referred to collectively as "**Owner**", hereby makes, declares, and imposes on the land herein described, the covenants running with the land, which shall be binding on the Owners, their heirs, successors, and assigns, personal representatives, mortgagees, lessees, and against all persons claiming by, through or under them;

WHEREAS, Owner holds the fee simple title to the real property, hereinafter referred to as the "**Property**", in the City of Coral Gables, Florida, described as:

More particularly described in Composite Exhibit "A"

WHEREAS, Owner submitted Application No. 02-05-312-P, to the Planning Department of the City of Coral Gables, requesting the following:

Approval of a change of Land Use from Commercial Low-Rise Intensity to Commercial Mid-Rise Intensity and Mixed-Use Site Plan review for the project referred to as Giralda Complex.

WHEREAS, the Planning Department is requiring that the Owner provide a Restrictive Covenant as is the Coral Gables City Commission pursuant to Ordinance No. 2007-04 as part of the approval agreeing to the within conditions.

NOW, THEREFORE, IN ORDER TO ASSURE the City of Coral Gables that the representations made by the Owner in connection with the approvals by the City and subsequent issuance of a certificate of use and occupancy, will be abided by, the Owner freely, voluntarily, and without duress, makes the following Declaration of Restrictive Covenants running with the Property and agrees as follows;

1. The above recitations are true and correct and are incorporated herein in their entirety.

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2. The property will be developed in conformance with the site plan, elevations and the building program prepared by the architectural firm of Fullerton Diaz Architects, Inc. Application Sheet 1-54 dated 08-02-2006; Landscape plan prepared by Alex Knight, Landscape Architecture and Planning, Application Sheets Nos. 47-54 of 54 dated 08-02-2006; and Streetscape improvements and other associated public realm improvements prepared by Alex Knight, Landscape Architecture and Planning, Application Sheets Nos. 42-54 of 54 dated 08-02-2006; and Traffic Study prepared Transport Analysis Professionals, Inc., dated January, 2005 filed in the office of the Planning Director of the City of Coral Gables (hereinafter referred to as the "Site Plan").
3. Improvement and/ or conditions contained herein, unless otherwise specified herein, shall be completed prior to receipt of final certificate of occupancy (CO)
4. All representations and exhibits as prepared and provided to the Planning Department as a part of the application submittal package dated 02.01.05, and revised and re-submitted on 07.17.06.
5. All representations proffered by the applicant's representatives provided during public hearing review.
6. Changes to the plans required by the City Commission as part of the review of this application at public hearings.
7. Prior to the issuance of a building permit, the property owner, its successors or assigns, shall apply for and receive the following required City reviews and approvals.
 - a. Right-of-way encroachments. Secure City Commission review and approval of all proposed encroachments into public rights-of-way.
 - b. Infrastructure improvements. Prepare and submit an infrastructure improvement plan for the coordination and construction of water, sewer, gas, electrical and other infrastructure facilities upon request by the Director of Public Works Department for review and approval.
8. Changes to approved plans.
 - a. The applicant, successors or assigns shall advise of any changes to the plans and drawings referenced above as a part of building permit review process. Changes shall require Planning Department review and approval to determine the extent of changes and may require reconsideration by the Planning and Zoning Board and City Commission as determined by the Planning Director.
9. The applicant, successors or assigns shall advise the Department of any applicable changes in writing prior to the issuance of a temporary Certificate of Occupancy (CO) for any principal structure for each phase of the project.

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10. Prior to the issuance of a building permit, or as otherwise specified in the Restrictive Covenant, the property owner, its successors or assigns, shall adhere to the following conditions:

a. Public Realm Improvements mitigation improvements as proffered and agreed to by the applicant.

1. On-site pedestrian amenities. Provide additional pedestrian amenities at the publicly accessed open spaces, including the pedestrian paseos, lobby entrances, pedestrian walkway along alleyway and plaza colonnade. These additional pedestrian amenities shall include, but not be limited to, public art, urban type landscaping and movable planters, water features, information kiosks and pedestrian scale lighting. All proposed on-site pedestrian amenities shall be subject to review and approval by the Directors of Public Works, Public Service and Planning Departments.

2. Public realm improvements. Provide all streetscape and landscaping improvements proposed within public rights-of-way per the City Master Streetscape Plan along both sides of Giralda Avenue between Salzedo Street and Ponce De Leon Boulevard as presented as part of the submitted application package on Application Sheets Nos.20,28,29, and 42-54 of 54, dated 08.02.06. This includes, but not limited to the following: landscaping, drainage, curbing, structural soil, directional signage, street lighting, street furniture including benches, waste cans, lighting standards, bicycle racks, newspaper racks, moveable planters and other related items. All proposed public realm improvements and landscaping within public right-of-way shall conform with the City's Master Streetscape Plan, subject to review and approval by the Directors of Public Works, Public service and Planning Departments.

3. City Museum urban plaza. As proffered by the Applicant, an amount of \$486,743.00 shall be provided to the City for all site improvements and landscaping for the urban Plaza located at the City Museum.

b. Parking and traffic circulation.

1. Sale or Leasing. The sale or leasing of parking spaces to any person, business or entity that is not a tenant or resident of this project shall be prohibited.

2. Parking garage gates. All vehicular and parking garage gates shall be included and shown on site and building plans. No vehicular gates shall be installed that prohibit or restrict required and designated commercial parking spaces.

c. Affordable housing, the applicant agrees to comply with all legislation adopted by the City Commission, within one (1) year after the issuance of a building permit, to

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promote the provision and/ or retention of affordable housing, as defined by the City Commission, related to the findings of the City's Affordable Housing Study (April 2006).

11. Prior to the issuance of the final Certificate of Occupation (CO), the owner, its successors or assigns shall complete the following:
 - a. Traffic improvements. Install improvements required as identified in submitted traffic study prepared by Transport Analysis Professionals, Inc., dated January, 2005, and as recommended by and subject to review and approval of the Director of Public Works Department, as follows:
 1. Intersection of Giralda Avenue and LeJeune Road shall be signalized in conjunction with the construction of the proposed project.
12. As further part of this Declaration, it is hereby understood and agreed that any official inspector of the City of Coral Gables, or its agents duly authorized, may have the privilege at any time during normal working hours of entering and inspecting the premises to determine whether or not the requirements of the Building and Zoning regulations and the conditions herein agreed to are being complied with.
13. This Declaration on the part of the Owner shall constitute a covenant running with the land and may be recorded, at the Owner's expense, in the public records of Miami-Dade County, Florida and shall remain in full force and effect and be binding upon the undersigned Owner and their heirs, successors and assigns until such time as the same is modified or released. These restrictions shall be for the benefit of, and limitation upon, all present and future owners of the real property and for the public welfare.
14. This Declaration is to run with the land and shall be binding on all parties and all persons claiming under it for a period of thirty (30) years from the date this Declaration is recorded after which time it shall be extended automatically for successive periods of ten (10) years, unless an instrument signed by the then owner(s) of the Property has been recorded agreeing to change the covenant in whole, or in part, provided that the Declaration has first been modified or released by the City of Coral Gables.
15. This Declaration of Restrictive Covenant may be modified, amended or released as to the land herein described, or any portion thereof, by a written instrument executed by the then, owner(s) of the Property, or if the property has been submitted to a condominium form of ownership, by an authorized representative of the condominium association responsible to manage the condominium, in lieu of all the property owners, including joinders of all mortgagees, if any, provided that the same is also approved by the City of Coral Gables. Should this Declaration of Restrictions be so modified, amended or released, the City shall

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forthwith execute a written instrument effectuating and acknowledging such modification, amendment or release.

16. Enforcement shall be by action at law or in equity against any parties or person violating, or attempting to violate, any covenants, either to restrain violations or to recover damages. The prevailing party in any action or suit pertaining to or arising out of this declaration shall be entitled to recover, in addition to costs and disbursements allowed by law, such sum as the Court, through Appeal(s), may adjudge to be reasonable for the services of their attorney. This enforcement provision shall be in addition to any other remedies available at law, in equity, or both.
17. In the event the terms of this Declaration are not being complied with after notice and the opportunity to cure within a reasonable period of time under the circumstances of the alleged non-compliance, in addition to any other remedies available, the City is hereby authorized to withhold any further permits and refuse to make any inspections or grant any approvals, until such time as there is compliance with this Declaration.
18. All rights, remedies and privileges granted herein shall be deemed to be cumulative and the exercise of any one or more shall neither be deemed to constitute and election of remedies, nor shall it preclude the party exercising the same from exercising such other additional rights, remedies or privileges.
19. Where construction has occurred on the Property or any portion thereof, pursuant to a lawful permit issued by the City, and inspections made and approval of occupancy given by the City, then such construction, inspection and approval shall create a rebuttable presumption that the buildings or structures thus constructed comply with this Declaration.
20. Invalidation of any of these covenants by judgment or Court shall not affect any of the provisions, which shall remain in full force and effect.
21. This Declaration shall be filed of record in the public records of Miami-Dade County, Florida at the cost of the Owner.



(THE REMAINDER OF THIS PAGE INTENTIONALLY LEFT BLANK)

Exhibit "A"

Property Address: 275-277 Giralda Avenue, Coral Gables, Fl.
269 Giralda Avenue, Coral Gables, Fl.

The West 0.9 feet of Lot 30, all of lots 31 through 39 both inclusive and Lot 40 less the West 11.89 feet thereof, in Block 28, of Coral Gables Section "K" according to the plat thereof as recorded in Plat Book 8, Page 33, of the Public Records of Miami-Dade County, Florida.

AND

The West 11.89 feet of Lot 40, all of Lot 41, and Lot 42 less the West 0.75 feet thereof, in Block 28, of Coral Gables Section "K" according to the Plat thereof, as recorded in Plat Book 8, Page 33 of the Public Records of Miami-Dade County, Florida.

AND

Lots 43, 44 and the West 0.75 feet of Lot 42, in Block 28, of Coral Gables Section "K" according to the Plat thereof, as recorded in Plat Book 8, Page 33, of the Public Records of Miami-Dade County, Florida.

AND

Lots 45, 46, 47 and 48, in Block 28, of Coral Gables Section "K" according to the Plat thereof, as recorded in Plat Book 8, Page 33, of the Public Records of Miami-Dade County, Florida.

Giralda Complex LLC

{M1232358_2}

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Exhibit "A"

Property Address: 2222 Ponce De Leon Blvd. Coral Gables, FL

First floor unit together with an individual 21.438961% interest in the common elements, Second Floor Unit together with an undivided 17.656854% interest in the common elements, Third Floor Unit together with an undivided 12.180837% interest in the common elements, Fourth Floor Unit together with an undivided 12.180837% interest in the common elements, and Fifth Floor Unit together with an undivided 12.180837% interest in the common elements, of University Federal Condominium, according to the Declaration of Condominium thereof as recorded in Official Records Book 10440, Page 2225, of Public Records of Miami-Dade County, Florida.

Note: The condominium structure is situated upon a certain parcel of land described as: Lots 25 through 29, both inclusive, and the East 24.1 feet of Lot 30, thereof, as recorded in Plat Book 8 at, Page 33 of the Public Records of Miami-Dade County, Florida.

GIRARDA PB, LLC

{M1232595_2}

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Giralda Place
List of Owner's Representatives and Consultants

- **OWNERS:**

Giralda Complex, LLC
Christopher Brown
2222 Ponce de Leon Blvd.
Coral Gables, Florida 33134
Tel: 646-267-3455
Email: Cristo@Giraldacomplex.net

Giralda PB, LLC
Christopher Brown
2222 Ponce de Leon Blvd.
Coral Gables, Florida 33134
Tel: 646-267-3455
Email: Cristo@Giraldacomplex.net

- **ARCHITECT:**

Fullerton Group Architects
John Fullerton, AIA
2222 Ponce de Leon Blvd.
Coral Gables, Florida 33134
Tel: 305-213-3321
Email: JFullerton@thefullertongroup.com

- **LEGAL:**

Laura L. Russo, Esq., LLC
Laura L. Russo, Attorney at Law
2655 Le Jeune Road, Suite PH F
Coral Gables, Florida 33134
Tel: 305-476-8300 ext. 17 Fax: 305-476-8383
Email: Laura@Laurarussolaw.com



CITY OF CORAL GABLES
RECEIVED BY THE
OFFICE OF THE CITY CLERK

CITY OF CORAL GABLES
LOBBYIST ANNUAL REGISTRATION APPLICATION 3 PH 1: 23
FOR EACH PRINCIPAL REPRESENTED

REGISTRATION #: _____

HAVE YOU BEEN RETAINED TO LOBBY ANY OF THE FOLLOWING FOR THE STATED PURPOSE?

CITY OFFICIALS: Mayor, City Commissioners, City Attorney, City Manager, City Clerk, Assistant City Manager, Special Assistant to City Manager, Heads or Directors of Departments, and their Assistant or Deputy, Police Major or Chief, Fire Major or Chief, Building and Zoning Inspectors Board, Committee Members, or any other City Official or staff.

FOR THIS PURPOSE: To encourage the approval, disapproval, adoption, repeal, passage, defeat or modification of any ordinance, resolution, action or decision of the City Commission; or any action, decision or recommendation of the City Commission, any Board, Committee or City Official.

IF THE FOREGOING APPLIES TO YOU, YOU ARE REQUIRED TO REGISTER AS A LOBBYIST:

Print Your Name Laura L. Russo, Esq.
LOBBYIST

Print Your Business Name, if applicable Laura L. Russo, Esq., LLC

Business Telephone Number 305-476-8300

Business Address 2655 Le Jeune Road, Suite PH 1-F, Coral Gables, Florida 33134
ADDRESS CITY, STATE ZIP CODE

Federal ID#: 26-3602751

State the extent of any business or professional relationship you have with any current member of the City Commission.
None

PRINCIPAL REPRESENTED:

NAME Christopher Brown COMPANY NAME, , IF APPLICABLE Giralda Complex, LLC

BUSINESS ADDRESS 2222 Ponce de Leon Blvd., Suite 150 TELEPHONE NO.: 305-442-6472

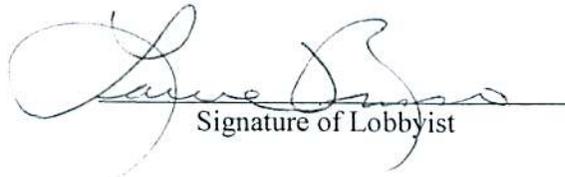
ANNUAL REPORT: On October 1st of each year, you are required to submit to the City Clerk a signed statement under oath listing all lobbying expenditures in excess of \$25.00 for the preceding calendar year. A statement is required to be filed even if there were no expenditures.

LOBBYIST ISSUE APPLICATION: Prior to lobbying for a specific issue, you are required to fill out a Lobbyist Issue Application form with the Office of the City Clerk; stating under oath, your name, business address, the name of each principal who employed you to lobby, and the specific issue on which you wish to lobby.

NOTICE OF WITHDRAWAL: If you discontinue representing a particular client, a notice of withdrawal is required to be filed with the City Clerk.

ANNUAL LOBBYIST REGISTRATION FEE: This Registration must be on file in the Office of the City Clerk prior to The filing of an Issue Application to lobby on a specific issue, and payment of a \$150.00 Lobbyist Registration Fee is required.

I Laura L. Russo hereby swear or affirm under penalty of perjury that I have read the provisions of the City of Coral Gables Ordinance 2006-11, governing Lobbying and that all of the facts contained in this Registration Application are true and that I agree to pay the \$150.00 Annual Lobbyist Registration Fee.


Signature of Lobbyist

STATE OF FLORIDA)
)
COUNTY OF DADE)

BEFORE ME personally appeared Laura L. Russo to me well known and known to me to be the person described in and who executed the foregoing instrument, and acknowledged to and before me that he/she executed said instrument for the purposes therein expressed.

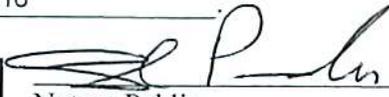
WITNESS my Hand and Official Seal this 2nd day of May, 2016

Personally Known

Produced ID

\$150.00 Fee Paid _____




Notary Public
State of Florida

Received By _____ Date: _____

Fee Waived for Not-for-Profit Organizations (documentary proof attached.) _____

For Office Use Only

Data Entry Date: _____, 20____. Entered By: _____



CITY OF CORAL GABLES
RECEIVED BY THE
OFFICE OF THE CITY CLERK

CITY OF CORAL GABLES
LOBBYIST 2016 MAY -3 PM 1: 23
ISSUE APPLICATION

REGISTRATION #: _____

HAVE YOU BEEN RETAINED TO LOBBY ANY OF THE FOLLOWING FOR THE STATED PURPOSE?

CITY OFFICIALS: Mayor, City Commissioners, City Attorney, City Manager, City Clerk, Assistant City Manager, Special Assistant to City Manager, Heads or Directors of Departments, and their Assistant or Deputy, Police Major or Chief, Fire Major or Chief, Building and Zoning Inspectors, Board, Committee Members, or any City Official or staff.

FOR THIS PURPOSE: To encourage the passage, defeat or modification of any ordinance, resolution, action or decision of the City Commission; or any action, decision or recommendation of any Board, Committee or City Official.

IF THE FOREGOING APPLIES TO YOU, YOU ARE REQUIRED TO REGISTER AS A LOBBYIST AND TO FILE THE FOLLOWING INFORMATION, UNDER OATH, WITH THE CITY CLERK FOR EACH ISSUE ADDRESSED. ISSUE FEE: NO CHARGE, PROVIDING YOU HAVE A CURRENT ANNUAL LOBBYIST REGISTRATION DOCUMENT ON FILE.

Print Your Name Laura L. Russo, Esq.
LOBBYIST

Print Your Business Name Laura L. Russo, Esq., LLC

Business Telephone Number 305-476-8300

Business Address 2655 Le Jeune Road, Suite PH 1-F, Coral Gables, Florida 33134
ADDRESS CITY, STATE ZIP CODE

Corporation, Partnership, or Trust Represented: Giralda Complex, LLC

Principal Name: Christopher Brown

Principal Address: 2222 Ponce de Leon Blvd., Suite 150 Telephone Number: 305-442-6472

ISSUE: Describe in detail, including address, if applicable, of the specific issue on which you will lobby: **(Separate Application is required for each specific issue)**

Approval of revision to reduce residential units



CFN 2004R0657861
 DR Bk 22538 Pgs 0267 - 271; (5pgs)
 RECORDED 08/03/2004 14:38:49
 DEED DOC TAX 35,400.00
 SURTAX 26,550.00
 HARVEY RUVIN, CLERK OF COURT
 MIAMI-DADE COUNTY, FLORIDA

THIS INSTRUMENT PREPARED BY,
 RECORD AND RETURN TO:

Emily M. Usow, Esq.
 ADORNO & YOSS, P.A.
 2601 South Bayshore Drive
 Suite 1600
 Miami, Florida 33133

Property Appraisers Parcel Identification (Folio) No: 68641-0000
 Grantee's Federal Identification No.: _____

SPECIAL WARRANTY DEED

THIS SPECIAL WARRANTY DEED made as of the 30th day of July, 2004, by 2222 Ponce Corp., a Florida corporation, having a mailing address of 1320 South Dixie Highway, Suite 781, Coral Gables, FL 33146 (the "Grantor"), to Giralda Complex, LLC, a Florida limited liability company, having a mailing address of 2199 Ponce de Leon Blvd., Suite 304, Coral Gables, Fl. 33134 (the "Grantee").

(Wherever used herein, the terms "Grantor" and "Grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations.)

WITNESSETH:

The Grantor, for and in consideration of the sum of TEN AND NO/100 (\$10.00) DOLLARS and other valuable consideration, paid to Grantor by Grantee, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the Grantee, all of that certain real property situated in Miami-Dade County, Florida, legally described in Exhibit "A" attached hereto and made a part hereof (the "Property").

This conveyance is subject to:

1. Real estate taxes and assessments for the year 2004 and subsequent years, not yet due and payable;
2. Covenants, conditions, easements, rights-of-way, restrictions, limitations, reservations and other matters of record, if any;
3. Zoning laws, ordinances, and regulations and other restrictions imposed by applicable governmental authorities;
4. Restrictions covering Lot 30 of underlying land, omitting any restrictions based on race, creed, color or natural origin, contained in that certain Warranty Deed from Coral Gables Corporation to Coral Gables, Lumber & Supply Company dated June 19, 1925 recorded July 28, 1925 under Clerk's File No. A-96202 in Deed Book 702, Page 19 of the Public Records of Miami-Dade County, Florida; which (M1232358_2)

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contain a reverter clause which has been released by Release of Reverter from George E. Merrick, Eunice Merrick, Coral Gables Corporation and Coral Gables, Inc., dated June 4, 1929 recorded June 15, 1929 under Clerk's File No. E-20743 in Deed Book 1315, Page 126 of the Public Records of Miami-Dade County, Florida;

5. Restrictions covering Lots 31 through 34 of underlying land, omitting any restrictions based on race, creed, color or natural origin, contained in that certain Warranty Deed from Coral Gables Corporation to Coral Gables Lumber & Supply Company dated July 1, 1926 recorded August 10, 1926 in Deed Book 992, Page 88 of the Public Records Miami-Dade County, Florida; which contain a reverter clause which has been released by Release of Reverter from George E. Merrick, Eunice Merrick Coral Gables Corporation and Coral Gables, Inc. dated June 4, 1929 recorded June 15, 1929 under Clerk's File No. E-20743 in Deed Book 1315 Page 126 of the Public Records of Miami-Dade County, Florida;

6. Restrictions covering Lots 35 through 42 of underlying land, omitting any restrictions based on race, creed, color or natural origin, contained in that certain Warranty Deed from Coral Gables Corporation to Coral Gables Lumber & Supply Company dated July 1, 1926 recorded August 10, 1926 in Deed Book 992, Page 92 of the Public Records of Miami-Dade County, Florida; which contain a reverter clause which has been released by Release of Reverter from George E. Merrick, Eunice Merrick, Coral Gables Corporation and Coral Gables, Inc. dated June 4, 1929 recorded June 15, 1929 under Clerk's File No. E-20743 in Deed Book 1315, Page 126 of the Public Records of Miami-Dade County, Florida;

7. Restrictions covering Lots 43 and 44 of underlying land, omitting any restrictions based on race, creed, color or natural origin, contained in that certain Warranty Deed from Coral Gables, Inc. to Julia O'Keefe Nelson dated July 31, 1929 recorded August 2, 1929 under Clerk's File No. E-25714 in Deed Book 1325, Page 287 of the Public Records of Miami-Dade County, Florida;

8. Partial Release of Restrictions from Coral Gables Corporation, dated June 23, 1926 recorded June 26, 1926 under Clerk's File No. B-62628 in Deed Book 974, Page 229 of the Public Records of Miami-Dade County, Florida;

9. Restrictions, covenants, and conditions as contained in the Declaration of Restrictive Covenants dated August 16, 1989 recorded December 1, 1989 in Official Records Book 14344, Page 2556 of the Public Records of Miami-Dade County, Florida. (As to Lots 43 & 44);

10. Restrictions, covenants, and conditions as contained in the Declaration of Restrictive Covenants recorded May 25, 1993 in Official Records Book 15927, Page 57 of the Public Records of Miami-Dade County, Florida. (As to the West 0.75 feet of Lot 42 and Lots 43 & 44);

11. Restrictions, covenants, and conditions as contained in the Declaration of Restrictive Covenants recorded May 30, 1995 in Official Records Book 16797, Page 4708, of the Public Records of Miami-Dade County, Florida. (As to the West 0.75 feet of Lot 42 and Lots 43 & 44);

12. Restrictions, covenants, and conditions as contained in the Declaration of Restrictive Covenants recorded June 5, 1995 in Official Records Book 16803, Page 4489 of the Public Records of Miami-Dade County, Florida. (As to Lots 40, 41 & 42);

13. Restrictions, covenants, and conditions as contained in the Declaration of Restrictive Covenants recorded July 11, 2001 in Official Records Book 19771, Page 3000 of the Public Records of

{M1232358_2}

Miami-Dade County, Florida. (As to the West 0.9 feet of Lot 30 Lots 31 through 39 and Lot 40 less the West 11.89 feet);

14. Restrictions, covenants and conditions as contained in the Declaration of Restrictive Covenants recorded June 5, 1995 in Official Records Book 16803, Page 4489 of the Public Records of Miami-Dade County, Florida. (As to Lots 40, 41 & 42);

15. Restrictions, covenants, and conditions as contained in the Declaration of Restrictive Covenants recorded September 25, 2003 in Official Records Book 21681, Page 423 of the Public Records of Miami-Dade County, Florida. (As to Lots 43 and 44);

16. Restrictions, covenants, and conditions as contained in the Declaration of Restrictive Covenants recorded May 4, 2000 in Official Records Book 19095, Page 2374 of the Public Records of Miami-Dade County, Florida. (As to Lots 43 and 44);

17. Rights of the lessees occupying all or part of the Property under unrecorded leases or rental agreements;

18. All matters contained on the Plat of Coral Gables Section K in Plat Book 8, Page 33 of the Public Records of Miami-Dade County, Florida;

19. Utility Easement (water service) referenced in that certain Warranty Deed between Coral Gables Corporation and Utilities Land Company dated March 31, 1926 under Clerk's File No. B34870 and in Deed Book 939, Page 443 of the Public Records of Miami-Dade County, Florida;

20. Utility Easement (electric service) referenced in that certain Warranty Deed between Coral Gables Corporation and Utilities Land Company dated March 31, 1926 under Clerk's File No. B34866 and in Deed Book 939, Page 445 of the Public Records of Miami-Dade County, Florida;

21. Easement between George E. Merrick and Eunice P. Merrick and Southern Atlantic Telephone & Telegraph Company dated February 7, 1924 recorded April 3, 1926 under Clerk's File No. B34908 and in Deed Book 839, Page 106 of the Public Records of Miami-Dade County, Florida; and

22. That certain Parking Lease Agreement as described in that certain Cancellation and Ratification of Parking Lease Agreement recorded July 9, 1992 in Official Records Book 15581, Page 3347, of the Public Records of Miami-Dade County, Florida.

TOGETHER with all the tenements, hereditaments and appurtenances thereto belonging or in anyway appertaining.

TO HAVE AND TO HOLD, the same in fee simple forever.

Grantor hereby fully warrants title to the Property and will defend same against the lawful claims of all persons claiming, by, through or under Grantor, but none other.

Exhibit "A"

Property Address: 275-277 Giralda Avenue, Coral Gables, Fl.
269 Giralda Avenue, Coral Gables, Fl.

The West 0.9 feet of Lot 30, all of lots 31 through 39 both inclusive and Lot 40 less the West 11.89 feet thereof, in Block 28, of Coral Gables Section "K" according to the plat thereof as recorded in Plat Book 8, Page 33, of the Public Records of Miami-Dade County, Florida.

AND

The West 11.89 feet of Lot 40, all of Lot 41, and Lot 42 less the West 0.75 feet thereof, in Block 28, of Coral Gables Section "K" according to the Plat thereof, as recorded in Plat Book 8, Page 33 of the Public Records of Miami-Dade County, Florida.

AND

Lots 43, 44 and the West 0.75 feet of Lot 42, in Block 28, of Coral Gables Section "K" according to the Plat thereof, as recorded in Plat Book 8, Page 33, of the Public Records of Miami-Dade County, Florida.

AND

Lots 45, 46, 47 and 48, in Block 28, of Coral Gables Section "K" according to the Plat thereof, as recorded in Plat Book 8, Page 33, of the Public Records of Miami-Dade County, Florida.

{M1232358_2}



CFN 2004R0665192
 DR Bk 22543 Pgs 3811 - 3815; (5pgs)
 RECORDED 08/04/2004 15:20:15
 DEED DDC TAX 42,000.00
 SURTAX 31,500.00
 HARVEY RUVIN, CLERK OF COURT
 MIAMI-DADE COUNTY, FLORIDA

THIS INSTRUMENT PREPARED BY,
 RECORD AND RETURN TO:

Emily M. Usow, Esq.
 ADORNO & YOSS, P.A.
 2601 South Bayshore Drive
 Suite 1600
 Miami, Florida 33133

Property Appraisers Parcel Identification (Folio) No: 68641-0000
 Grantee's Federal Identification No.: _____

SPECIAL WARRANTY DEED

THIS SPECIAL WARRANTY DEED made as of the 30th day of July, 2004, by 2222 Ponce Corp., a Florida corporation, having a mailing address of 1320 South Dixie Highway, Suite 781, Coral Gables, FL 33146 (the "Grantor"), to Giralda PB, LLC, a Florida limited liability company, having a mailing address of 2199 Ponce de Leon Blvd., Suite 304, Coral Gables, FL 33134 (the "Grantee").

(Wherever used herein, the terms "Grantor" and "Grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations.)

WITNESSETH:

The Grantor, for and in consideration of the sum of TEN AND NO/100 (\$10.00) DOLLARS and other valuable consideration, paid to Grantor by Grantee, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the Grantee, all of that certain real property situated in Miami-Dade County, Florida, legally described in Exhibit "A" attached hereto and made a part hereof (the "Property").

This conveyance is subject to:

1. Real estate taxes and assessments for the year 2004 and subsequent years, not yet due and payable;
2. Covenants, conditions, easements, rights-of-way, restrictions, limitations, reservations and other matters of record, if any;
3. Zoning laws, ordinances, and regulations and other restrictions imposed by applicable governmental authorities;
4. Restrictions covering Lot 25 of underlying land, omitting any restrictions based on race, creed, color or natural origin, contained in that certain Warranty Deed from George E. Merrick and Eunice Merrick to Archille Renuart dated February 26, 1925 recorded on April 7, 1925 under Clerk's File No. A-36737 in Official Records Book 560, Page 277, of the Public Records of Miami-Dade County, Florida; which contain a reverter clause that has been released by a Release of Reverter from George E.

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Merrick, Eunice Merrick, Coral Gables Corporation and Coral Gables, Inc., dated June 4, 1929, recorded on June 15, 1929 under Clerk's File No. E-20743 in Official Records Book 1315, Page 126 of the Public Records of Miami-Dade County, Florida;

5. Restrictions covering Lot 26 of underlying land, omitting any restrictions based on race, creed, color or natural origin, contained in that certain Warranty Deed from Coral Gables Corporation to George R. Capelle dated June 16, 1926 recorded on July 26, 1926 under Clerk's File No. B-69616 in Deed Book 986, Page 100, of the Public Records of Miami-Dade County, Florida; which contain a reverter clause that has been released by a Release of Reverter from George E. Merrick, Eunice Merrick, Coral Gables Corporation and Coral Gables, Inc., dated June 4, 1929, recorded on June 15, 1929 under Clerk's File No. E-20743 in Deed Book 1315, Page 126 of the Public Records of Miami-Dade County, Florida;

6. Restrictions covering Lot 29 of underlying land, omitting any restrictions based on race, creed, color or natural origin, contained in that certain Warranty Deed from George E. Merrick and Eunice Merrick to Walter M. Ballinger dated June 6, 1923 recorded on September 1, 1926 under Clerk's File No. B-77548 in Deed Book 999, Page 215, of the Public Records of Miami-Dade County, Florida; which contain a reverter clause that has been released by a Release of Reverter from George E. Merrick, Eunice Merrick, Coral Gables Corporation and Coral Gables, Inc., dated June 4, 1929, recorded on June 15, 1929 under Clerk's File No. E-20743 in Deed Book 1315, Page 126 of the Public Records of Miami-Dade County, Florida;

7. Restrictions covering Lot 30 of underlying land, omitting any restrictions based on race, creed, color or natural origin, contained in that certain Warranty Deed from Coral Gables Corporation to Coral Gables Lumber & Supply Company dated June 19, 1925 recorded on July 28, 1925 under Clerk's File No. A-96202 in Deed Book 702, Page 19, of the Public Records of Miami-Dade County, Florida; which contain a reverter clause that has been released by a Release of Reverter from George E. Merrick, Eunice Merrick, Coral Gables Corporation and Coral Gables, Inc., dated June 4, 1929, recorded on June 15, 1929 under Clerk's File No. E-20743 in Deed Book 1315, Page 126 of the Public Records of Miami-Dade County, Florida;

8. Partial Release of Restrictions from Coral Gables Corporation, dated June 23, 1926, recorded on June 26, 1926 under Clerk's File No. B-62628 in Official Records Book 974, Page 229, of the Public Records of Miami-Dade County, Florida;

9. All the terms, provision, conditions, rights, privileges, obligations, restrictions, liens, and easements as set forth in the Declaration of Condominium of University Federal Condominium, and all exhibits attached thereto, recorded July 2, 1979 under Clerk's File No. 79R-184369, in Official Records Book 10440, Page 2225 of the Public Records of Miami-Dade County, Florida;

10. Amendment to Declaration of Condominium of University Federal Condominium dated October 22, 1981 recorded October 27, 1981 under Clerk's File No. 81R-278295 in Official Records Book 11252, Page 1583 of the Public Records of Miami-Dade County, Florida;

11. Restrictions, covenants, and conditions as contained in that certain Declaration of Restrictive Covenants recorded on July 16, 1993 in Official Records Book 15983, Page 2171 of the Public Records of Miami-Dade County, Florida;

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12. Restrictions, covenants, and conditions as contained in that certain Declaration of Restrictive Covenants recorded on June 19, 1997 in Official Records Book 17682, Page 1806 of the Public Records of Miami-Dade County, Florida.

13. Rights of the lessees occupying all or part of the insured land under unrecorded leases or rental agreements;

14. All matters contained on the Plat Book of Coral Gables Section K in Plat Book 8, Page 33, of the Public Records of Miami-Dade County, Florida;

15. Utility Easement (water service) referenced In Warranty Deed between Coral Gables Corporation and Utilities Land Company dated March 31, 1926 under Clerk's File No. B34870 and in Deed Book 939, Page 443 of the Public Records of Miami-Dade County, Florida;

16. Utility Easement (electric service) referenced in Warranty Deed between Coral Gables Corporation and Utilities Land Company dated March 31, 1926 under Clerk's File No. B34866 and in Deed Book 939, Page 445 of the Public Records of Miami-Dade County, Florida;

17. Easement between George E. Merrick, and Eunice P. Merrick and Southern Atlantic Telephone & Telegraph Company dated February 7, 1924 recorded April 3, 1926 under Clerk's File No. B34908 and in Deed Book 839, Page 106 of the Public Records of Miami-Dade County, Florida; and

18. That certain Parking Lease Agreement as described in that certain Cancellation and Ratification of Parking Lease Agreement recorded July 9, 1992 in Official Records Book 15581, Page 3347, of the Public Records of Miami-Dade County, Florida.

TOGETHER with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

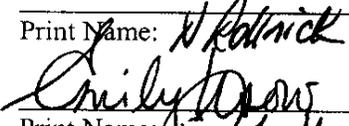
TO HAVE AND TO HOLD, the same in fee simple forever.

Grantor hereby fully warrants title to the Property and will defend same against the lawful claims of all persons claiming, by, through or under Grantor, but none other.

IN WITNESS WHEREOF, the said Grantor has/have executed this Special Warranty Deed the day and year first above written.

Signed, sealed and delivered
in the presence of:



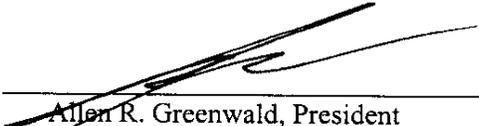
Print Name: *George E. Merrick*


Print Name: *Eunice P. Merrick*

Grantor:

2222 PONCE CORP., a Florida corporation,

By: _____


Allen R. Greenwald, President

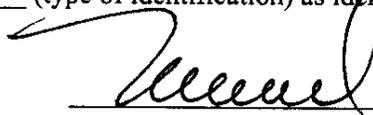
[ACKNOWLEDGEMENT ON THE FOLLOWING PAGE]

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STATE OF FLORIDA)
) ss:
COUNTY OF MIAMI-DADE)

The foregoing instrument was acknowledged before me this 30 day of July, 2004 by Allen R. Greenwald, as President of 2222 Ponce Corp., a Florida corporation. He is personally known to me, or has produced _____ (type of identification) as identification.



NOTARY PUBLIC, STATE OF FLORIDA

(Print, Type or Stamp Commissioned Name of Notary Public)



Exhibit "A"

Property Address: 2222 Ponce De Leon Blvd. Coral Gables, FL

First floor unit together with an individual 21.438961% interest in the common elements, Second Floor Unit together with an undivided 17.656854% interest in the common elements, Third Floor Unit together with an undivided 12.180837% interest in the common elements, Fourth Floor Unit together with an undivided 12.180837% interest in the common elements, and Fifth Floor Unit together with an undivided 12.180837% interest in the common elements, of University Federal Condominium, according to the Declaration of Condominium thereof as recorded in Official Records Book 10440, Page 2225, of Public Records of Miami-Dade County, Florida.

Note: The condominium structure is situated upon a certain parcel of land described as: Lots 25 through 29, both inclusive, and the East 24.1 feet of Lot 30, thereof, as recorded in Plat Book 8 at, Page 33 of the Public Records of Miami-Dade County, Florida.

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