



**Coral Gables Country Club
Athletic Club Renovation
DRC SUBMITTAL PACKAGE**

**997 North Greenway Drive
Coral Gables, Florida 33134**

May 6, 2016

Submittal Package Prepared by:



300 Aragon Avenue, Suite 330
Coral Gables, Florida 33134
Firm Certification No. AA26001654
V: 305.567.0602 F: 305.446.3197

Pablo Corazzini
FLORIDA Registered Architect - AR0091716

Luigi Vitalini
FLORIDA Registered Architect - AR0013513

**Coral Gables Country Club
Athletic Club Renovation
DRC Submittal Package**

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City of
Coral Gables,
Florida

Level

2

Review

Development Review Committee Application

Address: 427 Biltmore Way, 2nd Floor, Coral Gables, Florida 33134

Email: planning@coralgables.com

Phone: 305.460.5211

Preamble

The Development Review Committee (DRC) is an administrative and technical committee which reviews policy and technical issues raised by a development project. The DRC is intended to streamline and coordinate the review of the development process by identifying, addressing, providing input, advice and comments regarding all applicable provisions and regulations. The review of the projects and comments on development proposals by the DRC shall not be construed to be an approval of any project presented to the Committee.

Application review request

The undersigned applicant(s)/agent(s)/property owner(s) request(s) Level Two (2) Development Review Committee consideration and review for the following application(s) (please check all that apply):

- Permitted use new construction, additions, and alterations to buildings and/or structures (Board of Architects review only).
- Change in use or occupancy.
- Other: _____

Property information

Street address of the subject property: 997 North Greenway Dr

Property/project name: Coral Gables Country Club Athletic Club Renovation

Current land use classification(s): 3515 Religious/Institutional

Current zoning classification(s): Special Use -5

Proposed land use classification(s) (if applicable): _____

Proposed zoning classification(s) (if applicable): _____

Last use/current use of the property/building(s): _____

Proposed use(s) of the property/building(s): _____

Size of property (square feet/acres): _____

Total non-residential (i.e, commercial, office, etc.) floor area (total square feet/FAR): _____

Total number of residential units per acre and total number of units: _____

Estimated cost of the existing/proposed building/project: \$ 100,000



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Application(s) and date(s) of all previous City of Coral Gables submittals and type of actions related to existing/proposed building/project:

Board of Architects Preliminary 01/08/15 03/05/15

Board of Architects Final 07/02/15

Project Legal Description: Lot(s): Lots 1 through 9 and lots 37 through 39

Block(s): 32

Section(s): Coral Gables Section B

Listing of all folio numbers for subject property:

03-4108-001-5090

General information

Applicant(s)/Agent(s) Name(s): Vitalini Corazzini Architects

Telephone Contact No: 305 567 0602 Fax No.: _____ Email: LVitalini @ VCMIAAMI.com

Mailing Address: 300 Aragon Ave Suite 330, Coral Gables, FL 33134

(City)

(State)

(ZIP Code)

Property Owner(s) Name(s): City Of Coral Gables

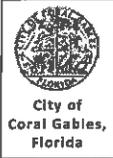
Telephone Contact No: 305 476 7231 Fax No.: _____ Email: _____ @ _____

Mailing Address: 405 Biltmore Way Coral Gables FL 33134

(City)

(State)

(ZIP Code)



Level
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Email: planning@coralgables.com Phone: 305.460.5211

Property Owner(s) Name(s): _____

Telephone Contact No: _____ Fax No.: _____ Email: _____@_____

Mailing Address: _____
(City) (State) (ZIP Code)

Project Architect(s) Name(s): Vitalini Corazzini Architects

Telephone Contact No: 305 567 0602 Fax No.: 305 446 3197 Email: Lvitalini @ vciami.com

Mailing Address: 300 Aragon Ave #330 Coral Gables Fl 33134
(City) (State) (ZIP Code)

Provide the date(s) and types of application(s) previously filed with the City of Coral Gables and type of reviews, approvals, actions related to this request:

Board Of Architects Preliminary 01/08/15 03/05/15

Board Of Architects Final 07/02/15



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Application requirements and supporting information

Application submittal dates and meeting dates. Applications for the DRC shall be submitted in no later the first Friday of each month to be scheduled for the same monthly DRC meeting. DRC meetings are held the last Friday of each month, 9:30 a.m. City Commission Chambers, City Hall, 405 Biltmore Way, Coral Gables, Florida 33134. Applicants and/or agent shall be required to attend the meeting to present the application request and respond to City Staff questions. All applications shall be complete at time of submittal.

Preapplication Conference Requirements. A Pre-application Conference is required with the Planning and Zoning Division in advance of application submittal to determine the information necessary to be filed with the application(s). The City reserves the right to request additional information as necessary. City staff to check/confirm if all below information is provided at time of application submittal.

Application submittal (order of documents). The order of the documents for the application submittal shall be as follows (required documents will be determined at pre-application meeting):

- Table of Contents with page numbers identifying all below documents.
- DRC Application.
- Statement of use and/or cover letter.
- Aerial.
- Photographs of property, adjacent uses and/or streetscape.
- Property survey and legal description.
- Zoning chart and supporting information.
- Site Plan.
- Landscape plan and vegetation assessment.
- Tree survey and relocation plan.
- Architectural/building elevations.
- Building floor plans.
- Art in Public Places plan and/or statement.
- Ordinances, resolutions, covenants, development agreements, etc. previously granted for the property.
- Historical Significance letter. **(CERTIFICATE OF APPROPRIATENESS)**
- Name and contact information for property owner, applicant, architect, attorney, etc.
- City of Coral Gables Annual Registration Application and Issue Application Lobbyist forms.
- Warranty Deed.
- Application fee of \$100.00 dollars in check form, payable to the City of Coral Gables. Submit copy of check.
- Other: _____

Posting of the property. The City will post the subject property with a sign in accordance with the requirements of the Zoning Code indicating the DRC meeting date and location. The sign will be installed ten (10) days prior to the meeting and shall not be removed until after the meeting has been held, at which time it is the applicant's responsibility to remove the sign.



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Application submittal requirements

1. **Hard copies.** Three (3) hard copies of the entire application shall be submitted including all the items identified in the pre-application conference. Plans and drawings shall be in 11" x 17" format.
2. **Electronic copy.** One (1) PDF of the entire application shall be submitted including all items provided within the hard copies. The documents provided in the electronic copy shall be the same size (11" x 17" maximum for plans and drawings) and in the same order as the hard copy submittal. The total file size shall not exceed 30 MB.

Applicant/agent/property owner/architect affirmation and consent

(I) (We) affirm and certify to all of the following:

1. Submission of the following:
 - a. Warranty deed/tax record as proof of ownership for all properties considered as a part of the application request; or
 - b. Authorized as the applicant(s)/agent(s) identified herein to file this application and act on behalf of all current property owner(s) and modify any valid City of Coral Gables entitlements in effect during the entire review process.
2. This request, application, application supporting materials and all future supporting materials complies with all provisions and regulations of the Zoning Code, Comprehensive Land Use Plan and Code of Ordinances of the City of Coral Gables unless identified and approved as a part of this application request or other previously approved applications. Applicant understands that any violation of these provisions renders the application invalid.
3. That all the information contained in this application and all documentation submitted herewith is true to the best of (my) (our) knowledge and belief.
4. Understand that the application, all attachments and fees become a part of the official records of the City of Coral Gables and are not returnable.
5. Failure to provide the information necessary pursuant to the established time frames included but not limited to application submittal, submission of revised documents, etc. for review by City Staff and the designated reviewing entity may cause application to be deferred without further review until such time the requested information is submitted.
6. All representatives of the application have registered with and completed lobbyist forms for the City of Coral Gables City Clerk's office.
7. Understand that under Florida Law, all the information submitted as part of the application are public records.
8. The subject property will be posted by the City in accordance with Zoning Code requirements. The sign shall be installed by the City ten (10) days prior to the meeting and shall not be removed until after the meeting, at which time it is the applicant's responsibility to remove the sign.
9. The application will not be heard unless the Applicant and/or agent is present at the DRC meeting.



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Applicant(s)/Agent(s) Signature:

Applicant(s)/Agent(s) Print Name:

Luigi Vitalini

Address: 300 Aragon Ave #330
Coral Gables FL 33134

Telephone: 305 567 0602

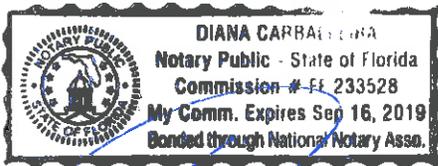
Fax: 305 446 3197

Email: Lvitalini@vcmiami.com

NOTARIZATION

STATE OF FLORIDA/COUNTY OF

The foregoing instrument was acknowledged before me this 6 day of May by Luigi Vitalini
(Signature of Notary Public - State of Florida)



(Print, Type or Stamp Commissioned Name of Notary Public)

Personally Known OR Produced Identification; Type of Identification Produced _____



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Property Owner(s) Signature:

Property Owner(s) Print Name:

Charles K. Wu.
Asst. Deot. Service Dir.

Property Owner(s) Signature:

Property Owner(s) Print Name:

Property Owner(s) Signature:

Property Owner(s) Print Name:

Address:

Telephone:

Fax:

Email:

NOTARIZATION

STATE OF FLORIDA/COUNTY OF

The foregoing instrument was acknowledged before me this 6 day of May by 2016

(Signature of Notary Public - State of Florida)



(Print, Type or Stamp Commissioned Name of Notary Public)

Personally Known OR Produced Identification; Type of Identification Produced _____



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Architect(s) Signature:

Architect(s) Print Name:

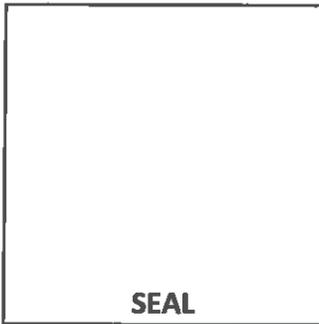
Luigi Vitalini

Address: 300 Aragon Ave #330
Coral Gables FL 33134

Telephone: 305 567 0602

Fax: 305 446 3197

Email: Lvitalini@vcmiami.com



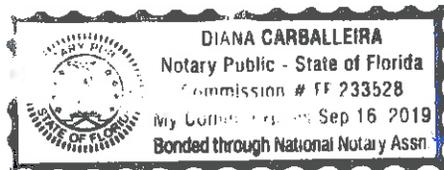
SEAL

NOTARIZATION

STATE OF FLORIDA/COUNTY OF

The foregoing instrument was acknowledged before me this 6 day of May by Luigi Vitalini

(Signature of Notary Public - State of Florida)



(Print, Type or Stamp Commissioned Name of Notary Public)

Personally Known OR Produced Identification; Type of Identification Produced _____



The Coral Gables Athletic Club (CGAC) has become a favorite among Coral Gables residents due to our prime location, with lush surroundings in front of the historic Granada Golf Course.

The CGAC allows its members and guests to improve their fitness while they enjoy exclusive benefits such as, a fully renovated fitness center with the best equipment the industry has to offer, our landmark 200,000 gallon junior olympic size pool and 6 newly renovated hard thru tennis courts.

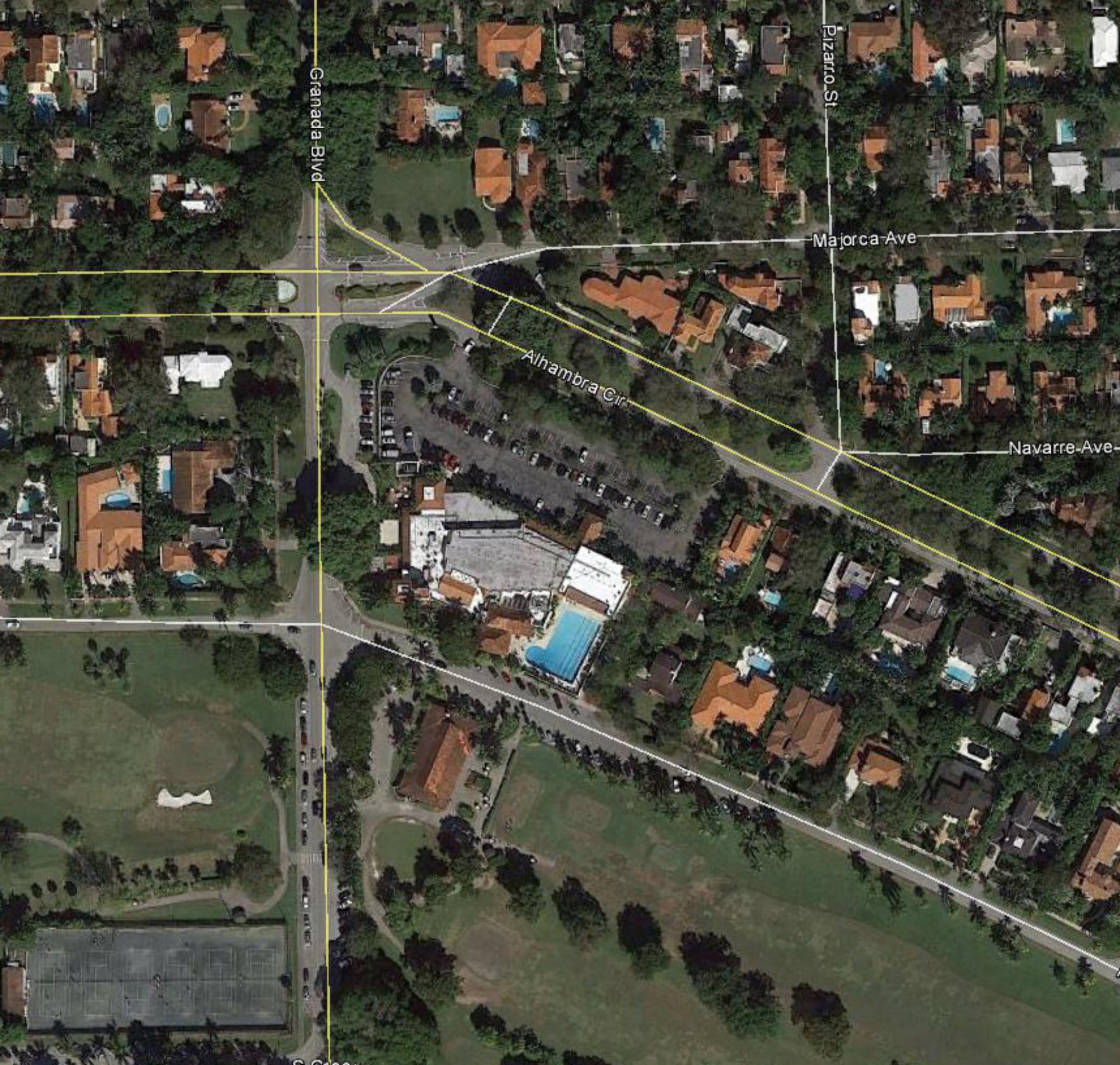
In our promise to the city and as bound in our lease agreement, work needs to be completed on this portion of the building primarily in the pool deck locker rooms. This area is the only portion of the building that has not been remodeled and is not in the same condition as the rest of the facility.

Scope of work consists of the renovation of an existing athletic club inside the Coral Gables Country Club which includes: Replacement of existing locker rooms, reconfiguration of restrooms, additional pool showers, athletic rooms and reconfiguration of locker room facilities. Part of this scope of work includes encloses approximately 600 sq.ft. Of covered area. All other areas of operation will remain the same.

Best Regards,

A handwritten signature in blue ink, appearing to read "Anthony Di Donato", is written over a light blue horizontal line.

Anthony Di Donato
Operations Director



Granada Blvd

Pizarro St

Majorca Ave

Alhambra Cir

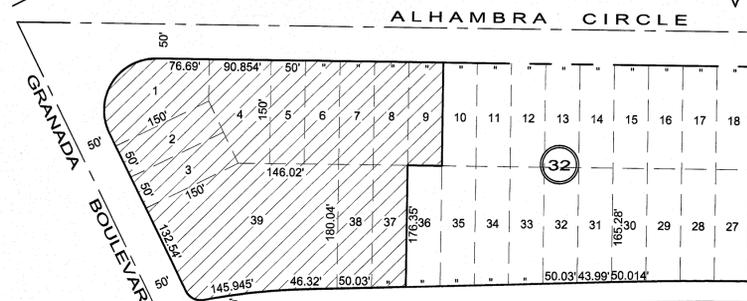
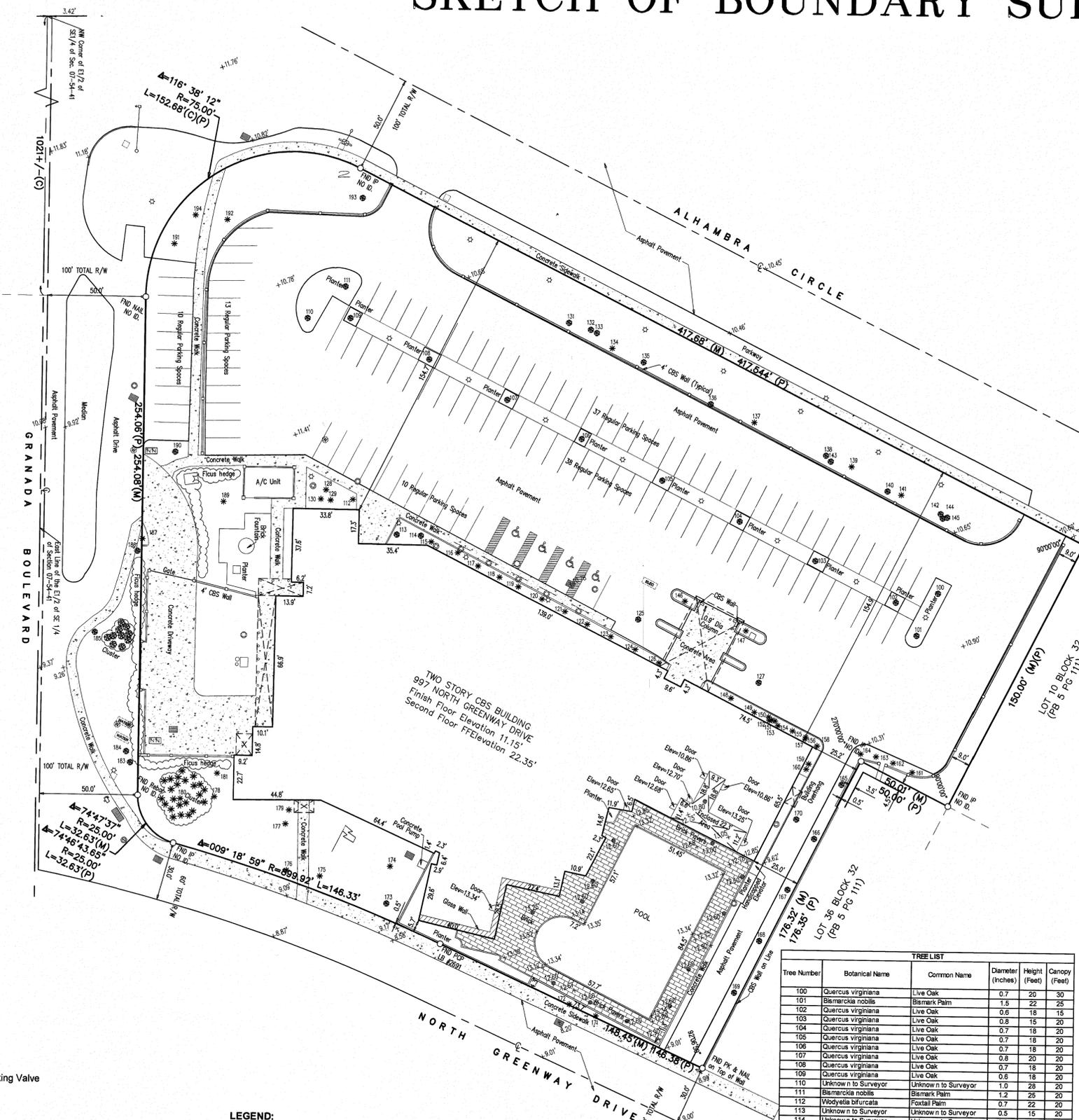
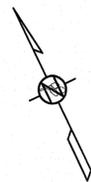
Navarre Ave







SKETCH OF BOUNDARY SURVEY



LOCATION MAP
A Portion of the E1/2 of SE1/4 of Section 7, Township 54 South, Range 41 East, Miami-Dade County, Florida
Not to Scale

LEGAL DESCRIPTION:
Lots 1 through 9 and Lots 37 through 39, Block 32, CORAL GABLES SECTION B, according to the plat thereof as recorded in Plat Book 5 at Page 111 of the Public Records of Miami Dade County, Florida.

SURVEYOR'S NOTES:
This Boundary Survey update only the portion of the property where the pool area is located (most southeasterly corner of the property) and also shows the finished elevations at the entrance to the building and around the pool area, in addition to the location and identification of the existing trees found on the entire property at the time when this updated was conducted.

Right of Way as shown is based on the recorded Plat and the record description. Any notorious evidence of occupation and/or use of the described parcel for Right-of-Way, Ingress or Egress are shown on this survey drawing. However, this survey does not purport to reflect any recorded instruments or Right-of-Way other than shown on the recorded plat or stated in the legal description, as it appears on this drawing.

A comparison between measured (M), plat (P) and calculated (C) dimensions are delineated hereon. All dimensions are based directly on the recovered monumentation, unless otherwise noted. Platted dimensions (P) are based on the said plat of "CORAL GABLES SECTION B, Measured dimensions (M) are based on direct and indirect measurement of recovered monumentation and Calculated dimensions (C) are a projection based on the record plat and field measurements.

Elevations are referred to National Geodetic Vertical Datum (NGVD 1929). Elevations are based on City of Coral Gables Benchmark No 16 the same is a PK Nail and Brass Washer located at the Northwest corner of Greenway Drive and Granada Boulevard. Elevation 9.20 feet.

The accuracy obtained for all horizontal control measurements and office calculations of closed geometric figures, meets or exceeds the Minimum Technical Standards as set forth by the Florida Board of Professional Surveyors and Mappers as contained in Chapter 5J-17.05(3)(b)15.a, of a closure in feet of plus or minus 0.05 feet times the square root of the distance in miles.

Only the surface indications of the underground utilities have been located. There may be other underground utilities in addition to those evidenced by visible appearances as shown on this sketch. No subsurface investigation has been performed by the Surveyor. Underground footers have not been located.

Although care was taken with the identification of the trees noted hereon, an arborist, landscape architect, botanist, environmental specialist or others with advanced education in dendrology should be utilized if critical identification of the trees is required.

The total area of the Surveyed Parcel as described hereon contains 139,771 square feet more or less (3.21 Acres more or less) by calculation.

The subject property lies within two flood zone areas. That portion of the subject property, lies within a Special Flood Hazard Area (SFHA) as shown on the National Flood Insurance Program's (NFIP), Flood Insurance Rate Map for Miami-Dade County, Florida, Unincorporated Areas No. 12086C0294L, Community No. 1208630, bearing an effective and revised date of September 11, 2009. Said map delineates that portion of the herein described land lying within the SFHA, to be situated within Zone "AH", base flood elevation 10 feet; the balance of the herein described lands, situated within Zone X, lying within an area outside of the 0.2% annual chance flood.

This sketch shown hereon in its graphic form is the record depiction of the surveyed lands described herein and will in no circumstances be supplanted in authority by any other graphic or digital format of this Survey. This map is intended to be displayed at a scale of 1"=30' or smaller. At the maximum intended displayed scale the survey and sketch's positional accuracy value occupies 1/30" on the display.

Tree Number	Botanical Name	Common Name	Diameter (Inches)	Height (Feet)	Canopy (Feet)
131	Quercus virginiana	Live Oak	2.2	30	80
132	Codyline frutescens	Cabbage Palm	0.8	20	15
133	Casuarina equisetifolia	Australian Pine	1.3	45	30
134	Arcaecaceae	Palmetto Palm	0.7	15	15
135	Lobloby Pine	Florida Pine	1.5	45	30
136	Quercus virginiana	Live Oak	1.4	25	50
137	Lobloby Pine	Florida Pine	0.5	25	10
138	Quercus virginiana	Live Oak	2.5	25	80
139	Lobloby Pine	Florida Pine	1.0	20	15
140	Lobloby Pine	Florida Pine	1.5	60	20
141	Lobloby Pine	Florida Pine	1.0	28	20
142	Lobloby Pine	Florida Pine	1.3	50	20
143	Quercus virginiana	Live Oak	1.1	20	50
144	Lobloby Pine	Florida Pine	1.3	55	20
145	Quercus virginiana	Live Oak	2.4	20	80
146	Veitchia arecina	Montgomery Palm	0.5	15	10
147	Veitchia arecina	Montgomery Palm	0.5	20	15
148	Wodyetia bifurcata	Foxtail Palm	0.8	20	20
149	Veitchia arecina	Montgomery Palm	0.4	20	10
150	Veitchia arecina	Montgomery Palm	0.4	20	10
151	Veitchia arecina	Montgomery Palm	0.4	20	10
152	Veitchia arecina	Montgomery Palm	0.4	20	10
153	Veitchia arecina	Montgomery Palm	0.4	20	10
154	Veitchia arecina	Montgomery Palm	0.4	20	10
155	Veitchia arecina	Montgomery Palm	0.4	20	10
156	Veitchia arecina	Montgomery Palm	0.4	20	10
157	Veitchia arecina	Montgomery Palm	0.4	20	10
158	Veitchia arecina	Montgomery Palm	0.4	20	10
159	Veitchia arecina	Montgomery Palm	0.4	20	10
160	Veitchia arecina	Montgomery Palm	0.4	20	10
161	Veitchia arecina	Montgomery Palm	0.4	20	10

Tree Number	Botanical Name	Common Name	Diameter (Inches)	Height (Feet)	Canopy (Feet)
100	Quercus virginiana	Live Oak	0.7	20	30
101	Bismarckia nobilis	Bismarck Palm	1.5	22	25
102	Quercus virginiana	Live Oak	0.6	18	15
103	Quercus virginiana	Live Oak	0.8	15	20
104	Quercus virginiana	Live Oak	0.7	18	20
105	Quercus virginiana	Live Oak	0.7	18	20
106	Quercus virginiana	Live Oak	0.7	18	20
107	Quercus virginiana	Live Oak	0.7	18	20
108	Quercus virginiana	Live Oak	0.8	20	20
109	Quercus virginiana	Live Oak	0.7	18	20
110	Unknown n to Surveyor	Unknown n to Surveyor	1.0	28	20
111	Bismarckia nobilis	Bismarck Palm	1.2	25	20
112	Wodyetia bifurcata	Foxtail Palm	0.7	22	20
113	Unknown n to Surveyor	Unknown n to Surveyor	0.5	15	20
114	Unknown n to Surveyor	Unknown n to Surveyor	0.5	15	20
115	Wodyetia bifurcata	Foxtail Palm	0.8	20	20
116	Wodyetia bifurcata	Foxtail Palm	0.8	20	20
117	Wodyetia bifurcata	Foxtail Palm	0.9	20	20
118	Wodyetia bifurcata	Foxtail Palm	0.9	20	20
119	Wodyetia bifurcata	Foxtail Palm	0.8	20	20
120	Wodyetia bifurcata	Foxtail Palm	0.8	20	20
121	Wodyetia bifurcata	Foxtail Palm	0.7	20	20
122	Wodyetia bifurcata	Foxtail Palm	0.8	20	20
123	Wodyetia bifurcata	Foxtail Palm	0.8	20	20
124	Wodyetia bifurcata	Foxtail Palm	1.5	15	20
125	Bismarckia nobilis	Bismarck Palm	1.5	15	20
126	Wodyetia bifurcata	Foxtail Palm	0.8	20	20
127	Bismarckia nobilis	Bismarck Palm	1.5	20	20
128	Unknown n to Surveyor	Unknown n to Surveyor	0.4	20	15
129	Unknown n to Surveyor	Unknown n to Surveyor	0.4	20	15
130	Unknown n to Surveyor	Unknown n to Surveyor	0.4	20	15

Tree Number	Botanical Name	Common Name	Diameter (Inches)	Height (Feet)	Canopy (Feet)
162	Wodyetia bifurcata	Foxtail Palm	0.9	15	20
163	Wodyetia bifurcata	Foxtail Palm	0.9	15	20
164	Wodyetia bifurcata	Foxtail Palm	0.9	15	20
165	Quercus virginiana	Live Oak	0.7	20	20
166	Quercus virginiana	Live Oak	0.8	18	20
167	Quercus virginiana	Live Oak	0.8	25	25
168	Quercus virginiana	Live Oak	0.9	25	25
169	Quercus virginiana	Live Oak	1.0	25	25
170	Quercus virginiana	Live Oak	0.9	25	25
171	Veitchia arecina	Montgomery Palm	0.3	20	10
172	Veitchia arecina	Montgomery Palm	0.3	20	10
173	Delonix	Royal poinciana	2.2	25	50
174	Syagrus romanzoffiana	Queen Palm	2.0	30	25
175	Veitchia Merrillii	Christmas Palm (Cluster)	0.8	20	20
176	Veitchia Merrillii	Christmas Palm (Cluster)	0.8	20	20
177	Syagrus romanzoffiana	Queen Palm	1.5	30	25
178	Syagrus romanzoffiana	Queen Palm	1.7	30	25
179	Trachycarpus fortunei	Winnal Palm	0.4	6	8
180	Ravennia madagascariensis	Travelers Palm	13.0	25	35
181	Veitchia arecina	Montgomery Palm	0.4	25	20
182, 183, 186	Ficus Hedge				
184	Unknown n to Surveyor	Unknown n to Surveyor	1.5	25	30
185	Ficus Benghalensis	Banyan	13.0	40	80
187	Veitchia Merrillii	Christmas Palm (Cluster)	0.7	20	20
188	Wodyetia bifurcata	Foxtail Palm	0.8	20	20
189	Quercus virginiana	Live Oak	0.6	15	15
190	Quercus virginiana	Live Oak	1.5	30	20
191	Phoenix canariensis	Canary Island	2.0	30	20
192	Phoenix canariensis	Canary Island	1.7	30	20
193	Quercus virginiana	Live Oak	1.0	18	30
194	Phoenix canariensis	Canary Island	1.4	30	25

SYMBOL LEGEND:

- Signal Master Arm
- Wire Pull Box
- ☆ Light Pole
- Catch Basin
- Curb Inlet
- ⊕ Concrete Light Pole
- ⊕ Double Detector Checking Valve
- ⊕ Water Meter
- ⊕ Water Valve
- ⊕ Metal Light Pole
- ⊕ Manhole Drainage
- ⊕ Manhole Sanitary
- ⊕ Flag Pole
- ⊕ Cleanout
- ⊕ Single Sign Support
- ⊕ Mail Box
- ⊕ Drain Inlet

LEGEND:

- FND Found
- IP Iron Pipe
- CBS Concrete Block Structure
- Dia Diameter
- (M) Measure Distance
- (P) Plat Distance
- L Length Distance
- R Radius
- Δ Delta Angle
- ⊕ Centerline
- PCP Permanent Control Point

G:\Projects\57632 COUNTRY CLUB CORAL GABLES\57632 TOPOGRAPHIC SURVEY.dwg

E.R. Brownell & Associates, Inc.
SURVEYORS & MAPPERS
LAND PLANNERS
CONSULTING ENGINEERS
2434 SW 28th Lane
Miami, Florida, 33133
305-860-3866
WWW.ERBROWNELL.COM

Ref. F.B. FILE
Date: 07/02/1996
Certification No. LB761

997 GREENWAY DRIVE
CORAL GABLES, FL

Not valid without the signature and seal of a Florida licensed surveyor and mapper.

No. Date Description
1 1/23/96 IB Revised to show Pits
2 9/26/96 IB Revised per Request
3 10/27/96 IB Revised show Elevations
4 10/25/01 IB Revised to show changes
5 7/29/09 IB Revised to show changes
6 1/14/15 IB Revised to show changes

Prepared For:
Not valid without the signature and seal of a Florida licensed surveyor and mapper.

Scale: 1"=30'

Sheet: 1 OF 1
J.N. 57071
LS-1784

Revised to show additional information on January 14, 2015

State of Florida

Thomas Brownell, Executive Vice President
Professional Land Surveyor # 2891

Signature of E.R. Brownell

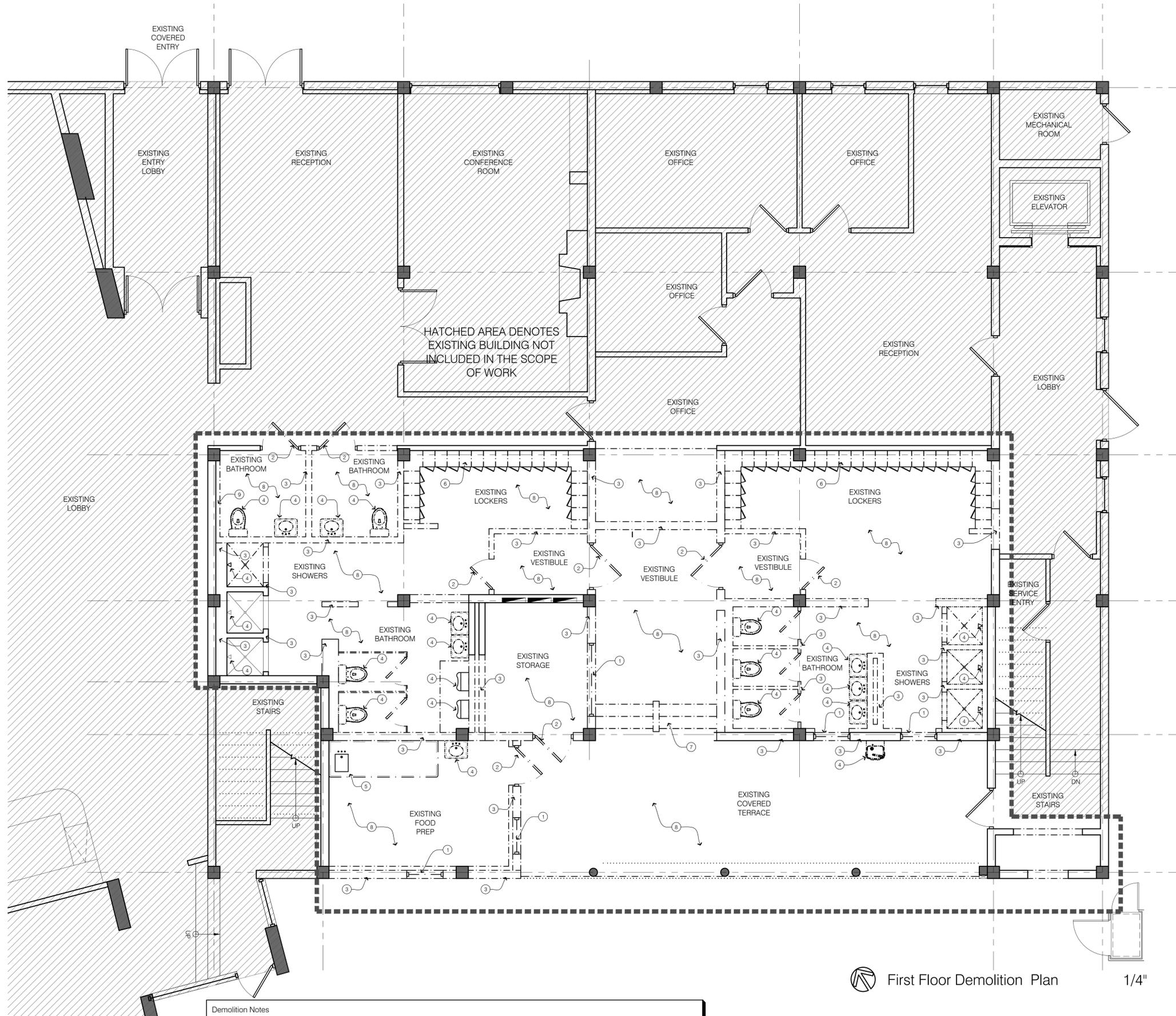


PROJECT No. 14018

Coral Gables Country Club Athletic Club Renovation
997 N Greenway Dr
Coral Gables, Florida 33134

OWNER
City of Coral Gables
997 N Greenway Dr
Coral Gables, Florida 33134

DISTRIBUTION	DATE
Permit Set	06/26/15
Bid Set	07/10/15
DRC Submittal	05/06/16



Pablo Corazzini | AR - 91716

Luigi Vitalini | AR - 13513

First Floor Demolition Plan

1/4"

- Demolition Notes**
- HAUL ALL DEBRIS TO A SITE APPROVED BY MIAMI METRO DADE COUNTY FOR DUMPING.
 - ALL ELECTRICAL LINES ENCOUNTERED DURING DEMOLITION SHALL BE ABANDONED.
 - ALL SANITARY WASTE LINES ENCOUNTERED DURING DEMOLITION SHALL BE SEALED.
 - WHERE CONTRACTOR ENCOUNTERS ANY UNFORESEEN CONDITIONS, LOAD BEARING WALLS OR PARTITIONS, VERIFY WITH ARCHITECT PRIOR TO COMMENCEMENT OF DEMOLITION.
 - CONTRACTOR SHALL ASSURE THAT, AND PROTECT AS NECESSARY FROM DAMAGE TO, ALL EXISTING MATERIALS, FINISHES AND EQUIPMENT.
 - ALL A/C SUPPLY AND RETURN AIR GRILLES OR PASSAGEWAYS SHALL BE DOUBLE-SEALED WITH CLEAR PLASTIC VISQUEEN IN A MANNER TO PROHIBIT THE TRANSFER OF AIRBORNE PARTICLES THROUGHOUT THE SPACE.
 - COMPLETELY DEMOLISH AND REMOVE ALL WALLS NOT SCHEDULED TO REMAIN IN OTHER DRAWINGS. VERIFY ALL AREAS IN FIELD PRIOR TO BID SUBMITTAL.
 - ALL REMOVED INTERIOR DOORS, GLASS DOORS, GLASS ASSEMBLY OR OTHER REUSABLE ITEMS SHALL BE STORED IN A SAFE PLACE FOR FUTURE RE-USE.
 - CONTRACTOR SHALL ATTEMPT TO REUSE WHATEVER MATERIALS AS REASONABLY POSSIBLE.
 - INTERIOR DEMOLITION ONLY.

- Demolition Legend**
- ① WINDOW TO BE REMOVED
 - ② DOOR TO BE REMOVED
 - ③ WALL TO BE REMOVED
 - ④ PLUMBING FIXTURES TO BE REMOVED
 - ⑤ KITCHEN CABINETS AND APPLIANCES TO BE REMOVED AND PROVIDED TO OWNER FOR THEIR USE.
 - ⑥ LOCKERS TO BE REMOVED
 - ⑦ BUILT-IN UNIT TO BE REMOVED
 - ⑧ EXISTING FLOORING TO BE REMOVED
 - ⑨ EXISTING FINISH TO BE REMOVED

- Partition Framing Legend**
- — — — — EXISTING CONSTRUCTION TO REMAIN
 - - - - - EXISTING TO BE REMOVED

vitalinicorazzini ARCHITECTS

300 Aragon Avenue, Suite 330 | Coral Gables, FL 33134
tel: 305.567.0602 | fax: 305.446.3197 | www.vcniam.com FL Registration AA26001654

SHEET NO. D-201



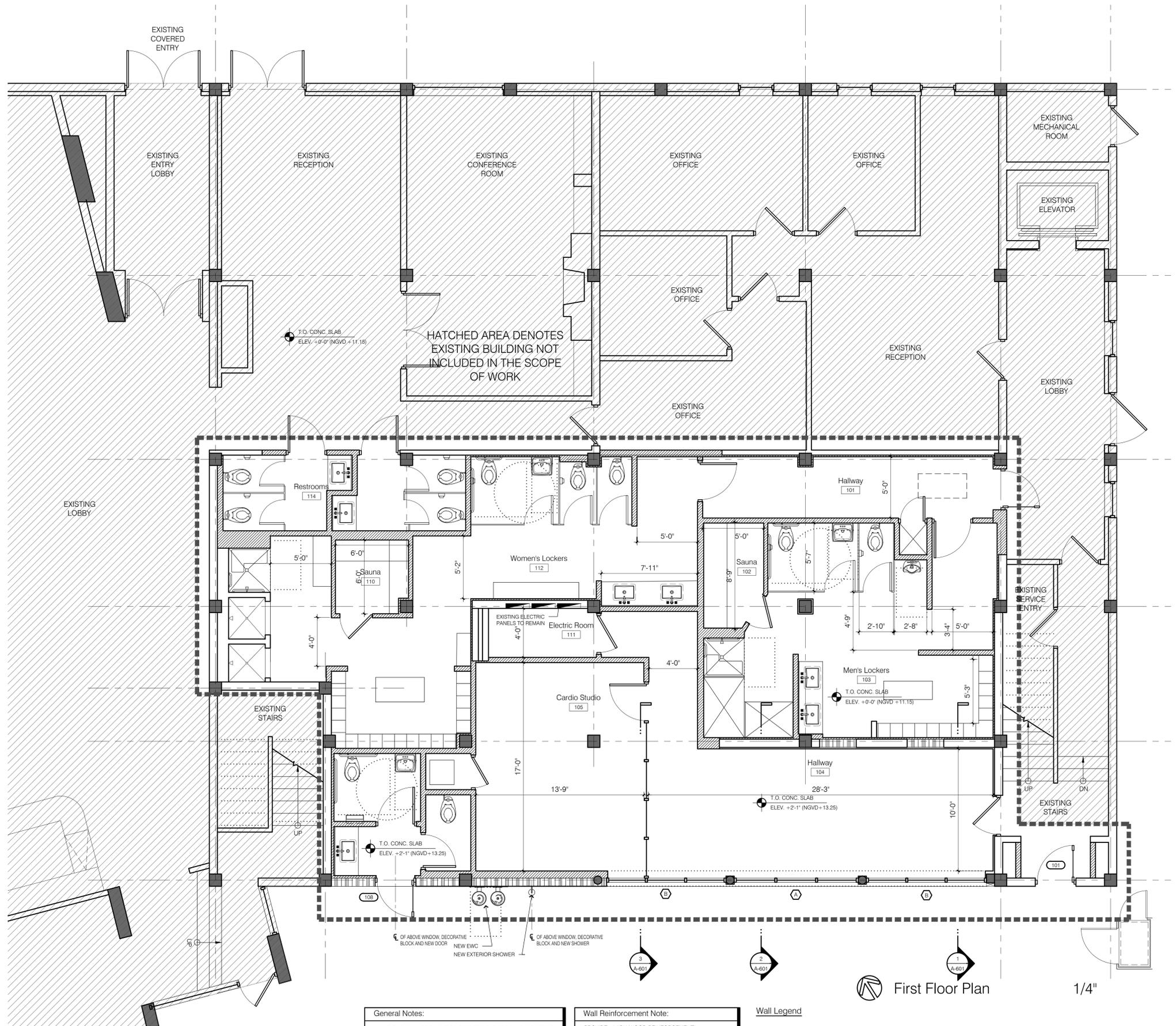
PROJECT No. 14018

Coral Gables Country Club
Athletic Club Renovation
997 N Greenway Dr
Coral Gables, Florida 33134

OWNER
City of Coral Gables

997 N Greenway Dr
Coral Gables, Florida 33134

DISTRIBUTION	DATE
Permit Set	06/26/15
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HATCHED AREA DENOTES
EXISTING BUILDING NOT
INCLUDED IN THE SCOPE
OF WORK

T.O. CONC. SLAB
ELEV. +0'-0" (NGVD +11.18)

T.O. CONC. SLAB
ELEV. +2'-1" (NGVD +13.25)

T.O. CONC. SLAB
ELEV. +0'-0" (NGVD +11.15)

T.O. CONC. SLAB
ELEV. +2'-1" (NGVD +13.25)

First Floor Plan

1/4"

General Notes:

- G.C. SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND JOB SITE CONDITIONS RELATED TO THIS WORK. ANY DISCREPANCIES IN DIMENSIONS OR SPECIAL MODIFICATIONS REQUIRED DUE TO FIELD CONDITIONS SHALL BE REPORTED IN WRITING TO THE ARCHITECT FOR CLARIFICATION, APPROVAL OR MODIFICATIONS BEFORE COMMENCING WORK. THE RESPONSIBILITY FOR ANY CHANGES MADE IN THE FIELD WITHOUT PRIOR NOTIFICATION TO THE ARCHITECT SHALL REST WITH THE G.C.
- ELECTRICAL, TELECOM, AND AV PANELS TO BE BUILT-IN TYPE. COORDINATE W/ DETAIL PLANS & INTERIOR ELEVATIONS FROM KITCHEN CONSULTANT.
- VERIFY STEPDOWN TO GRADE OR PAVING MATERIAL WITH CIVIL AND LANDSCAPE DRAWINGS (TYPICAL)

Wall Reinforcement Note:

PROVIDE 3/4" PLYWOOD REINFORCEMENT:
1. AT ALL KITCHEN, LAUNDRY, BUILT-IN SHELVING, BUILT-IN MIRRORS, AND CABINETS LOCATIONS. COORDINATE WITH CABINET PROVIDER AND MILLWORK SUB-CONTRACTOR.
2. AT WALL MOUNTED TV LOCATIONS; COORDINATE WITH TV SUPPLIER.

Windows and Doors Note:

WINDOW AND DOOR MANUFACTURER SHALL FIELD VERIFY MASONRY OPENINGS PRIOR TO FABRICATION.

Wall Legend

- CBS CONSTRUCTION WITH 3/4" STUCCO AT EXTERIOR. INTERIOR TO RECEIVE 7/8" MTL FURRING AT 16" O.C. AND 5/8" GYPSUM BD. PROVIDE ISO R-5.4 INSULATION BETWEEN FURRING.
- EXISTING CBS WALL. INTERIOR TO RECEIVE 7/8" MTL FURRING AT 16" O.C. AND 5/8" GYPSUM BD. PROVIDE ISO R-5.4 INSULATION BETWEEN FURRING.
- PARTITION TYPE 1: 3 5/8" METAL STUD PARTITION WITH 5/8" GYPSUM BD. AT EACH SIDE. FOLLOW STUD TABLE FOR GAUGE AND SPACING.
- PARTITION TYPE 2: 3 5/8" METAL STUD PARTITION WITH 5/8" GYPSUM BD. AT EACH SIDE AND BATT SOUND INSULATION. FOLLOW STUD TABLE FOR GAUGE AND SPACING.
- LOW WALL PARTITION
- 1 HR FIRE RATED PARTITION. REFER TO SHEET A-702 FOR DETAILS
- LOAD BEARING PARTITION. REFER TO STRUCTURAL SHEETS FOR DETAILS

Pablo Corazzini | AR - 91716

Luigi Vitalini | AR - 13513



300 Aragon Avenue, Suite 330 | Coral Gables, FL 33134
tel: 305.567.0602 | fax: 305.446.3197 | www.vitalincorazzini.com FL Registration AA26001654

SHEET NO.
A-201

SHEET PLOTTED 5/6/2016 1:07 AM



The City of Coral Gables

Historical Resources Department

**COA (SP) 2014-002
May 8, 2014**

STAFF REPORT

**SPECIAL CERTIFICATE OF APPROPRIATENESS
FOR AN ALTERATIONS TO
THE COUNTRY CLUB OF CORAL GABLES LOCATED AT
997 NORTH GREENWAY DRIVE
A LOCAL HISTORIC LANDMARK**

- Proposal:** The applicant is requesting design approval for alterations to the existing structure. Variances from the Coral Gables Zoning Code have been requested for setbacks and minimum landscape open space for a proposed outdoor dining area.
- Architect:** Manuel Anthony Vega
- Owner:** The City of Coral Gables
- Legal Description:** Lots 1 through 9 and Lots 37 through 39, Block 32, Coral Gables Section B, PB 5-111
- Site Characteristics:** This property is located on the northeast corner of the intersection of Granada Blvd. and North Greenway Drive. Alhambra Blvd. is on the north side of the property. The primary elevation faces south on North Greenway Drive
- Folio Number:** 03-4108-001-5090

BACKGROUND/EXISTING CONDITIONS

The Country Club of Coral Gables was built in 1922 and designed by Hampton and Reimert. It served an important role in entertaining prospective buyers for the germinating development. The Granada Golf Course was the City's first golf course, and opened January 1, 1923. Originally called the "Coral Gables Golf Course," the nine-hole course was designed by the firm of Langford and Moreau of Chicago, then the leading golf course architects in America. The Country Club was the focus for the city's social activities in the 1920s. There were numerous additions and alterations to the club throughout its history

and much of the building was destroyed by fire in 1983. In 1996 a new south tower was built to replace the tower destroyed by the fire and the "Lady Tweed Room" was added in 1997 to replace the Living Room destroyed in the fire.

Extensive interior renovations and minor exterior alterations were done in 2010.

PROPOSAL

The applicant is requesting design approval for keystone pavers on North Greenway for an outdoor dining area and a stairway entrance to the pool. Variances are requested from the Coral Gables "Zoning Code" for setbacks and minimum landscape open space.

SECRETARY OF THE INTERIOR'S STANDARDS FOR REHABILITATION

The following Standards have application in this matter:

9. *New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.*
10. *New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

STAFF OBSERVATIONS

The proposal calls for exterior alterations. These alterations are located in the area between the entrance to the existing Liberty Café and North Greenway Drive. The proposed patio is approximately 348 square feet and is made of 24' x 24' keystone pavers. The proposed stairway is from this area to the elevated pool deck. It is made of a stuccoed concrete base with keystone tile steps and risers to match the existing walkway and pool deck, and metal handrails. The new metal gate will match the existing pool enclosure.

Please note that Ordinance 2009-47 (attached) passed and adopted on October 13, 2009 states that "No tables, chairs, umbrellas or any similar outdoor furnishings shall be permitted outside the Country Club between the structure and North Greenway Drive and Granada Boulevard. Therefore, the proposed outdoor dining requires site plan review by the Planning and Zoning Board and City Commission approval.

VARIANCES

The following variances are requested:

Grant a variance to allow the proposed keystone pavers (approximately 348 square feet) to have a setback facing upon North Greenway Drive of approximately thirteen feet eight inches (13'-8") vs. a minimum setback of thirty-five feet (35'-0") facing upon North Greenway Drive or South Greenway Drive as required by Appendix A – Site Specific Zoning Regulations, Section A-7 – Section B-C(1) of the "Coral Gables Zoning Code."

AND

Grant a variance to allow the proposed keystone pavers to have a setback facing upon Granada Boulevard of approximately forty-six feet nine inches (46'-9") vs. a minimum setback of fifty feet (50'-0") facing upon Granada Boulevard as required by Appendix A – Site Specific Zoning Regulations, Section A-7 – Section B-C(4) of the "Coral Gables Zoning Code."

AND

Grant a variance to allow to property to provide approximately nineteen point four percent (19.4%) landscaped open space vs. property shall provide landscaped open space of not less than thirty-five percent (35%) of the area of the building site as required by Section 4-204 (D)(3) of the "Coral Gables Zoning Code."

BOARD OF ARCHITECTS

The Board of Architects reviewed and approved this proposal on March 6, 2014.

.STAFF CONCLUSION

The application requests design approval for exterior alterations to the Coral Gables Country Club building that consist of keystone pavers and a stairway. These proposed alterations are minimal and are reversible. They are reasonable and provide the users (tenant and patrons) more flexibility in the use of the building.

The overall design of the alterations does not detract from the historic nature of the structure.

Variations from the Coral Gables Zoning Code have been requested. Granting the requested variances will not be detrimental to the historic nature of the property. The Historical Resources staff finds that the following criteria, necessary for authorization of a variance, apply:

Criteria	Yes/No
(a) That special conditions and circumstances exist which are peculiar to the land, structure or building involved and which are not applicable to other lands, structures or buildings in the same zoning district.	Yes
(b) That the special conditions and circumstances do not result from the actions of the applicant.	Yes
(c) That granting the variance requested will not confer on the applicant any special privilege that is denied by this Ordinance to other lands, buildings or structures in the same zoning district.	Yes
(d) That literal interpretation of the provisions of the Zoning Code would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of the Zoning Code and would work unnecessary and undue hardship on the applicant.	Yes
(e) That the variance granted is the minimum variance that will make possible the reasonable use of the land, building or structure.	Yes
(f) That granting the variance will not change the use to one that is different from other land in the same district.	Yes
(g) That the granting of the variance will be in harmony with the general intent and purpose of the Zoning Code, and that such variance will not be injurious to the area involved or otherwise detrimental to the public welfare.	Yes

Although some of the variances requested are the result of the applicant (i.e. requesting encroachments into the existing setbacks), the placement of the building is not. The existing building abuts the existing setback lines on Granada Boulevard and North Greenway Drive and actually partially encroaches into the Granada Boulevard setback. Therefore, most enhancements of the southern façade to encourage use of this side of the building would require a variance. In this case, the encroachment is for pavers, not a permanent structure and the impact is minimal. The requested variances will give the tenant the opportunity to enhance this corner and engage the public in the building's use. Overall, the variances are not detrimental to the historic structure and will allow the Country Club of Coral Gables to remain a viable and occupied building. Therefore, to maintain the ongoing use and enjoyment of the site by the residents of the City, Staff recommends in favor of the requested variances.

Therefore, Staff recommends the following:

A motion to grant design approval for the alterations to the Coral Gables Country Club located at 997 North Greenway Drive, a local historic landmark, and **APPROVE** the issuance of a Special Certificate of Appropriateness.

AND

A motion to grant the requested variances associated with this Certificate of Appropriateness application.

Specifically, those variances are:

Grant a variance to allow the proposed keystone pavers (approximately 348 square feet) to have a setback facing upon North Greenway Drive of approximately thirteen feet eight inches (13'-8") vs. a minimum setback of thirty-five feet (35'-0") facing upon North Greenway Drive or South Greenway Drive as required by Appendix A – Site Specific Zoning Regulations, Section A-7 – Section B-C(1) of the “Coral Gables Zoning Code.”

AND

Grant a variance to allow the proposed keystone pavers to have a setback facing upon Granada Boulevard of approximately forty-six feet nine inches (46'-9") vs. a minimum setback of fifty feet (50'-0") facing upon Granada Boulevard as required by Appendix A – Site Specific Zoning Regulations, Section A-7 – Section B-C(4) of the “Coral Gables Zoning Code.”

AND

Grant a variance to allow to property to provide approximately nineteen point four percent (19.4%) landscaped open space vs. property shall provide landscaped open space of not less than thirty-five percent (35%) of the area of the building site as required by Section 4-204 (D)(3) of the “Coral Gables Zoning Code.”

Respectfully submitted,



Dona M. Spain
Historic Preservation Officer

CITY OF CORAL GABLES, FLORIDA

ORDINANCE NO. 2009-47 (AS AMENDED)

AN ORDINANCE OF THE CITY COMMISSION AMENDING THE PREVIOUS CONDITIONS OF APPROVAL (ORDINANCE NO. 3587) AND CHANGES TO THE PREVIOUSLY APPROVED SITE PLAN FOR THE COUNTRY CLUB OF CORAL GABLES TO INCLUDE ENCLOSED/OPEN AIR OUTDOOR AREA ON WEST SIDE OF PROPERTY AND IMPROVEMENTS TO EXISTING PORTE-COCHERE ON THE REAR OF THE PROPERTY, LEGALLY DESCRIBED AS LOTS 1-9 AND 37-39, BLOCK 32, SECTION "B" (997 NORTH GREENWAY DRIVE), CORAL GABLES, FLORIDA, AND INCLUDING REQUIRED CONDITIONS; PROVIDING FOR A REPEALER PROVISION, A SAVINGS CLAUSE, AND A SEVERABILITY CLAUSE; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the Planning and Zoning Board on April 10, 2002 and May 8, 2002 at which hearings all interested persons were afforded an opportunity to be heard on Application No. 02-02-037-P, submitted by Granada LLC, City of Coral Gables, owner, recommended approval of the proposed site plan for renovations and improvements to the Country Club of Coral Gables; and

WHEREAS, the City Commission after due consideration at its regular meeting of June 6, 2002 approved the site plan on first reading and on second reading on July 23, 2002; and

WHEREAS, the operator of the country club facility desires to amend the previous conditions of approval in Ordinance No. 3587 and desires changes to the approved site plan to include outdoor dining on south side of property facing North Greenway Drive, enclosed/open air outdoor area on west side of property and improvements to existing porte-cochere on the rear of the property; and

WHEREAS, after notice of public hearing duly published and notifications of all property owners of record within one thousand (1000) feet, public hearings were held before the Planning and Zoning Board of the City of Coral Gables on September 16, 2009, at which hearings all interested persons were afforded the opportunity to be heard; and

WHEREAS, site plan review are required to permit the proposed revisions to the previously approved "Country Club of Coral Gables" site plan; and

WHEREAS, the conditions of approval required by Ordinance No. 3587 for the previously approved site plan remain in effect except as amended herein and with revised plan references; and

WHEREAS, at a public hearing held on September 16, 2009, the Planning and Zoning Board recommended approval of the amendments to the previous conditions of approval and site plan with conditions (vote: 5-2); and

WHEREAS, the City Commission held a public hearing on September 22, 2009 at which hearing all interested persons were afforded an opportunity to be heard and this application was approved on first reading with conditions and modifications (vote: 4-1);

NOW, THEREFORE, BE IT RESOLVED BY THE COMMISSION OF THE CITY OF CORAL GABLES:

SECTION 1. The foregoing "Whereas" clauses are hereby ratified and confirmed as being true and correct and are hereby made a specific part of this Ordinance upon adoption.

SECTION 2. The proposed amendments amending the previous conditions of approval (Ordinance No. 3587) and changes to the previously approved site plan for the Country Club of Coral Gables to include outdoor dining on south side of property facing North Greenway Drive, enclosed/open air outdoor area on west side of property and improvements to existing porte-cochere on the rear of the property (as shown herein in underline format):

1. Construction of the proposed project shall be in conformance with the following documents as modified subject to the conditions contained herein:
 - a. Site plan, building elevations and other associated documents prepared by Chris Consultants, originally dated May 17, 2002 as amended, and dated August 31, 2009.
 - b. Landscape plan (referenced as Drawing 2-B), prepared by Witkin Design Group, originally dated May 17, 2002 as amended and dated August 31, 2009.
 - c. Traffic impact study prepared by Civil Works, Inc., dated January, 2002.
 - d. Any construction of new buildings, additions to existing buildings or changes to the plans and drawings referenced above unless specified herein shall require Planning and Zoning Board and City Commission review and final approval in ordinance form.
 - e. Improvements and/or conditions contained herein unless otherwise specified shall be completed at receipt of final Certificate of Occupancy.
 - f. All representations and exhibits as prepared and provided to the Planning Department as a part of the application submittal package dated April 4, 2002 and revised on May 1, 2002, and May 17, 2002 and August 31, 2009, and date stamped September 3, 2009.
2. Prior to issuance of a building permit, all conditions of approval recommended by the City Commission as a part of this revision shall be included within an updated Restrictive Covenant subject to City Attorney review and approval.
3. The applicant, its successors or assigns, shall adhere to the following conditions:
 - a. The Use Agreement between the City of Coral Gables and the Country Club of Coral Gables, dated 09.02.04 shall remain in effect. This Use Agreement shall be reviewed by the City on an annual basis (January of each year) to determine changes, modifications, etc., as necessary to ensure the surrounding properties are not negatively impacted by off-site parking and circulation.
 - b. No standing, stopping or storage of vehicles shall be permitted associated with the use of

the facility along Alhambra Circle rights-of-way, including but not limited to swale and median. The City will install the necessary no parking signage and enforce accordingly.

- c. The management of the Country Club, its successors or assigns shall provide valet service for all events where it is determined that more than 124 vehicles will be stored and/or parked at the facility. Determination of the use of the valet parking shall be at the discretion of the Country Club management. If at any time it is determined that parking and traffic circulation during events causes negative impacts on the surrounding properties or neighborhood, the City may reconsider the application as a part of the public hearing process before the City Commission and reassess possible other alternatives or appropriate measures regarding the operation of the Country Club and/or parking management to correct any potential negative impacts.
- d. Employees will be required to park at off-site parking facilities during major planned events and upon initiation of valet service as identified within the applicant's submittal package.
- e. All truck deliveries will be made to the designated service area and shall be permitted from 7:00 a.m. to 7:00 p.m. Monday thru Saturday. Trash removal shall only be permitted between the hours of 7:00 a.m. and 5:00 p.m. Monday thru Saturday.
- f. Trucks or other similar vehicles delivering or picking up goods, products, merchandise, etc. to the facility may not park or stop outside the confines of the identified service area. All such activities shall occur within the service area.
- g. The service area and trash dumpster area shall be screened with an eight (8) foot high decorative screening gate, four (4) high masonry wall and continuous, thick eight (8) foot high (hedge) landscaping. The hedge shall be maintained in perpetuity at a height of eight (8) feet.
- h. No outside storage of merchandise, goods or other products shall occur outside the confines of the service yard enclosure or any other portions of the site.
- i. Landscaping that expires shall be replaced on a 1 to 1 ratio (caliber size lost shall be replaced with identical caliber). The selection of replaced materials, location and other applicable standards shall be subject to Public Service Director's review and approval.
- j. All costs associated with the installation and maintenance of landscaping, irrigation and any other improvements for the property and within the rights-of-way, etc., shall be the responsibility of the applicant.
- k. Parking lot night lighting shall be reduced after 2:00 a.m. to minimum allowable standard as established by the applicable Building Code.
- l. No amplified music or similar address/pager systems shall be permitted outside the confines of the building at any time (day or night).
- m. Hours of operation of the County Club shall be between 7:00 a.m. and 1:00 a.m.
- n. No additional signage including, but not limited to, menu boards, special event advertising, etc., shall be permitted.
- o. No tables, chairs, and umbrellas shall be permitted outside the Country Club between the structure and North Greenway Drive.
- p. Primary valet service for the facility shall occur from the rear porte-cochere. Secondary valet service station along the North Greenway Drive public right-of-way shall be limited to Friday and Saturday nights between the hours of 5:00 p.m. and 11:00 p.m. Valet patrons after 11:00 p.m. shall retrieve all vehicles at the rear valet service porte-cochere area. Signage shall be provided at the front valet station indicating valet service will be available after 11:00 p.m. in the rear of facility. The valet service station located on North Greenway Drive shall conform with the Use Agreement and all established City requirements.

SECTION 3. All rights, actions, proceedings and Contracts of the City, including the City Commissioners, the City Manager, or any of its departments, boards or officers undertaken pursuant to the existing code provisions, shall be enforced, continued, or completed, in all respects, as though begun or executed hereunder.

SECTION 4. All ordinances or parts of ordinances that are inconsistent or in conflict with the provisions of this Ordinance are repealed.

SECTION 5. If any section, part of session, paragraph, clause, phrase or word of this Ordinance is declared invalid, the remaining provisions of this Ordinance shall not be affected.

SECTION 6. It is the intention of the City Commission that the provisions of this Ordinance shall become and be made a part of the Code of the City of Coral Gables, Florida, as amended, which provisions may be renumbered or relettered and that the word ordinance be changed to "section", "article", or other appropriate word to accomplish such intention.

SECTION 7. That this ordinance shall become effective ten days upon the date of its passage and adoption herein.

PASSED AND ADOPTED THIS THIRTEENTH DAY OF OCTOBER, A.D.
2009.

(Moved: Kerdyk / Seconded Withers)
(Yeas: Withers, Kerdyk, Slesnick)
(Nays: Anderson)
(Majority: 3-1 Vote)
(Abstentions: Cabrera)
(Agenda Item: E-1)

APPROVED:



DONALD D. SLESNICK II
MAYOR

ATTEST:



WALTER J. FOEMAN
CITY CLERK

APPROVED AS TO FORM
AND LEGAL SUFFICIENCY:



ELIZABETH M. HERNANDEZ
CITY ATTORNEY

Plans presented at 09.22.09 City Commission meeting

ADDITIONS & ALTERATIONS TO: THE COUNTRY CLUB OF CORAL GABLES

997 NORTH GREENWAY DRIVE
CORAL GABLES, FLORIDA

INDEX

COVER SHEET

PROPOSED

- 01 PROPOSED SITE PLAN
- 02 MAIN LEVEL FLOOR SITE PLAN
- 02F MAIN LEVEL FURNITURE PLAN
- 03 MAIN LEVEL FLOOR PLAN
- 04 EXTERIOR ELEVATIONS
- 04F PARTIAL SOUTH EXTERIOR ELEV. - FURNITURE
- LS1 PROPOSED LANDSCAPE PLAN

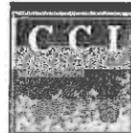
EXISTING

- 05 SURVEY
- 06 EXISTING SITE PLAN
- 07 EXISTING MAIN LEVEL FLOOR SITE PLAN
- 08 EXISTING MAIN LEVEL FLOOR PLAN
- 09 EXISTING SECOND LEVEL FLOOR PLAN
- 10 EXISTING EXTERIOR ELEVATIONS

SUPPLEMENTAL DRAWINGS

- 11 OFF-SITE AND ON-SITE PARKING SITE PLAN
- 12 VALET CIRCULATION SITE PLAN

PLANS SUBMITTED SEPTEMBER 2, 2009 FOR:
SEPTEMBER 15, 2009 FOR HISTORIC PRESERVATION BOARD,
SEPTEMBER 16, 2009 PLANNING & ZONING BOARD AND
SEPTEMBER 22, 2009 CITY COMMISSION



CLUB DESIGN THAT WORKS

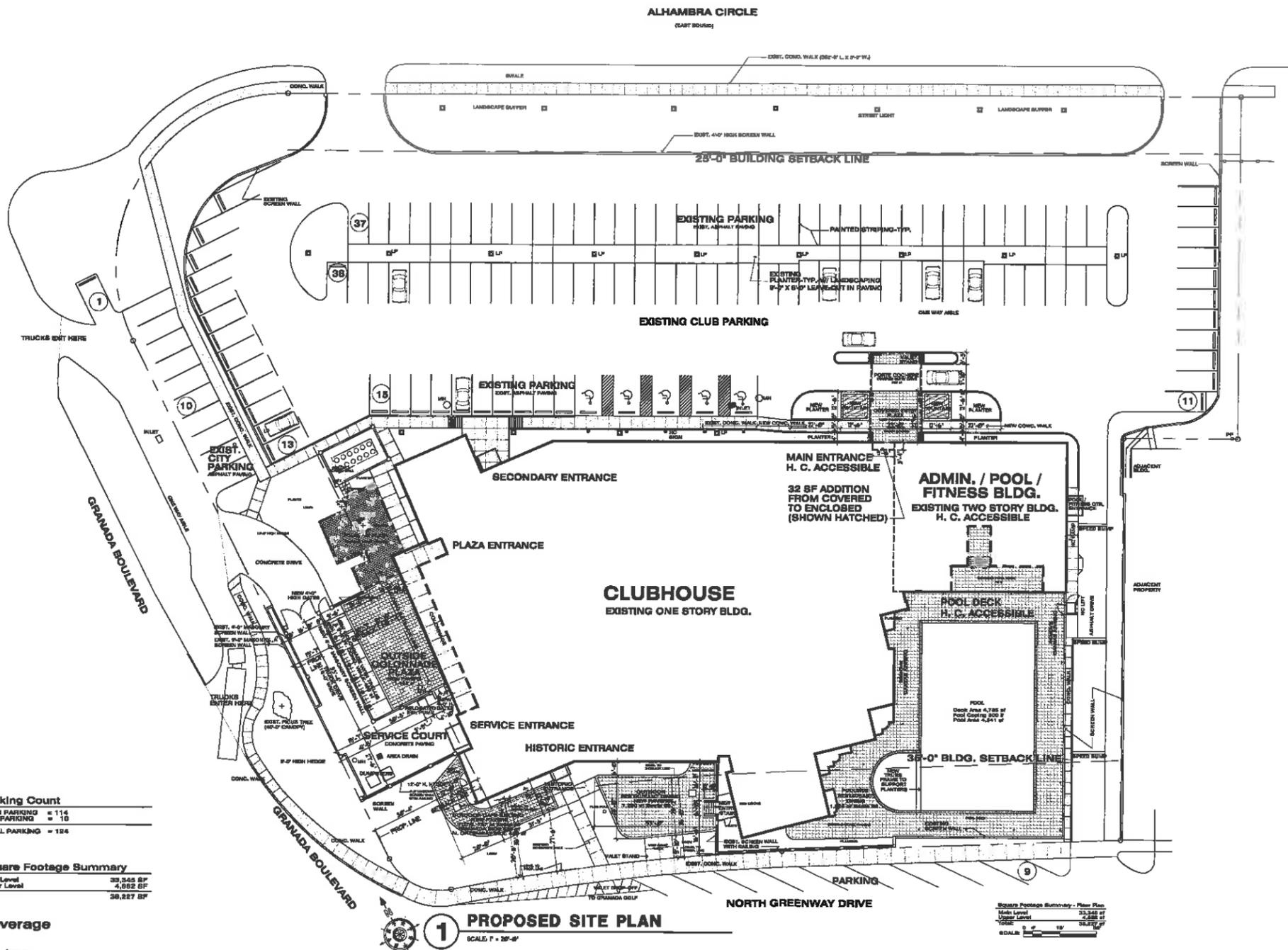
ARCHITECTURE
INTERIOR DESIGN
MASTER PLANNING
FOOD SERVICE PLANNING

1520 W. AIRPORT FREEWAY
SUITE 200
IRVING, TEXAS 75062
TEL: (972) 253-3583
FAX: (972) 253-3583
WWW.CCICLUBDESIGN.COM

Cover Sheet

August 31, 2009

Additions and Alterations to:
The Country Club of Coral Gables
Coral Gables, Florida



Legend

Existing Building = (Shaded Area)

Bldg. Addition = (Hatched)

Parking Count

CLUB PARKING	= 114
CITY PARKING	= 18
TOTAL PARKING	= 132

Square Footage Summary

Main Level	39,348 SF
Upper Levels	4,932 SF
Total	39,287 SF

Coverage

Site Area
139,787.57 SF
3.109 Acres

Building Area (w/ New Addition)
Footprint = 39,348 SF
Coverage = 28.88 Percent

Landscape Open Space Provided
24,932 SF
24,932 SF divided by 139,787.57 SF = 17.87% Coverage

Square Footage Summary - Plan Plan

Main Level	39,348 SF
Upper Levels	4,932 SF
Total	39,287 SF

SCALE: 1" = 20'-0"



1 PROPOSED SITE PLAN
SCALE: 1" = 20'-0"

CCI CLUB DESIGN THAT WORKS

ARCHITECTURE
INTERIOR DESIGN
MASTER PLANNING
FOOD SERVICE PLANNING

1520 W. AIRPORT FREEWAY
SUITE 200
IRVING, TEXAS 75062
TEL: (972) 253-3583
FAX: (972) 253-3583
WWW.CCICLUBDESIGN.COM

Scale 1" = 20'-0"

**Scheme A
Proposed Site Plan**

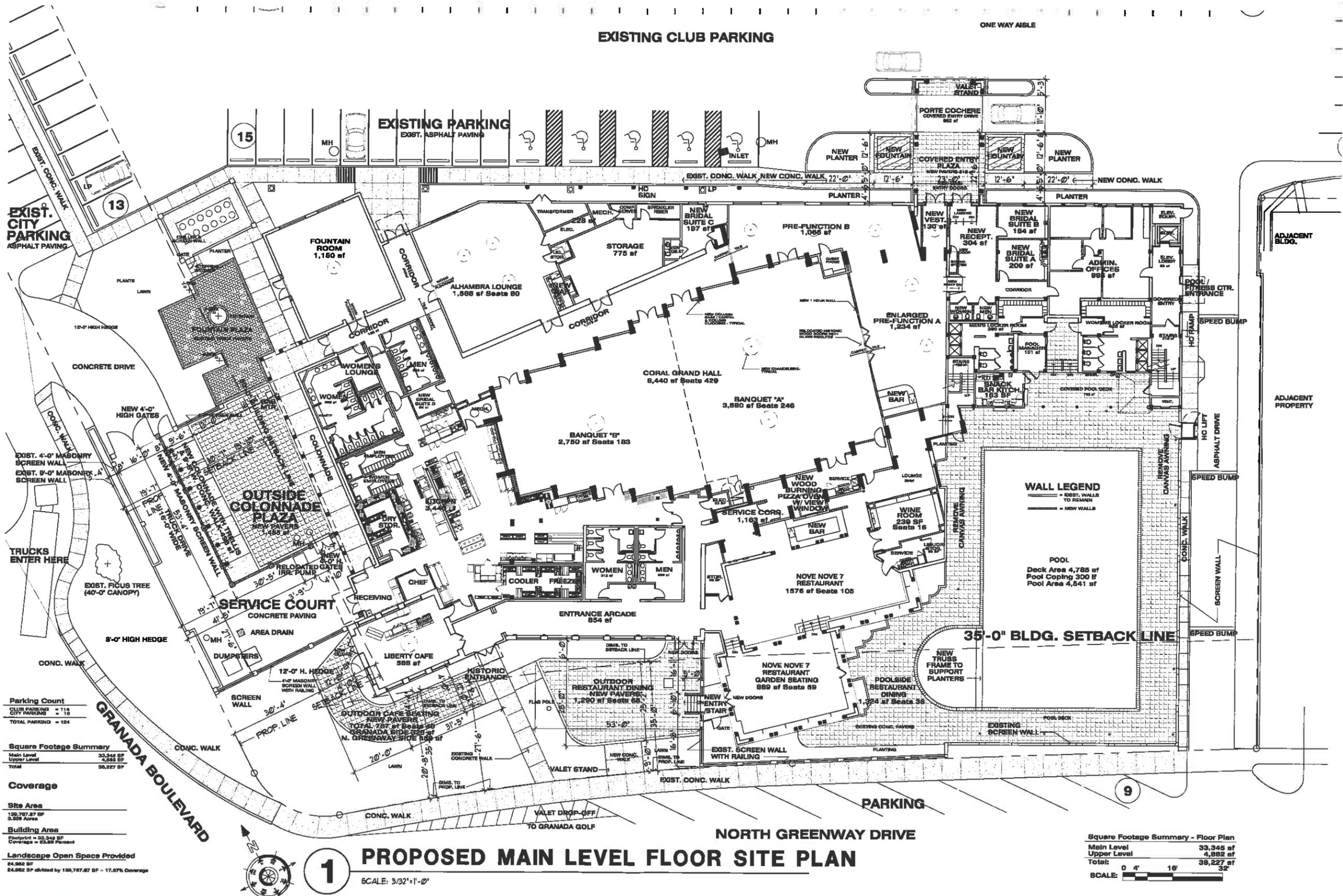
August 31, 2009

Additions and Alterations to
The Country Club of Coral Gables
Coral Gables, Florida

Dwg. No.
01

EXISTING CLUB PARKING

ONE WAY AISLE



Parking Count

CLUB PARKING	= 116
CITY PARKING	= 12
TOTAL PARKING	= 128

Square Footage Summary

Main Level	33,348 SF
Upper Level	4,882 SF
Total	38,230 SF

Coverage

Site Area

120,787.87 SF	3.008 Acres
---------------	-------------

Building Area

Footprint	= 33,348 SF
Coverage	= 53.68 Percent

Landscape Open Space Provided

24,882 SF
 84,982 SF divided by 120,787.87 SF = 17.87% Coverage

Square Footage Summary - Floor Plan

Main Level	33,348 SF
Upper Level	4,882 SF
Total	38,230 SF

SCALE: 0' 4' 16' 32'

1 PROPOSED MAIN LEVEL FLOOR SITE PLAN

SCALE: 3/32" = 1'-0"



CCI CLUB DESIGN THAT WORKS

ARCHITECTURE
 INTERIOR DESIGN
 MASTER PLANNING
 FOOD SERVICE PLANNING

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 FAX: (972) 253-3583
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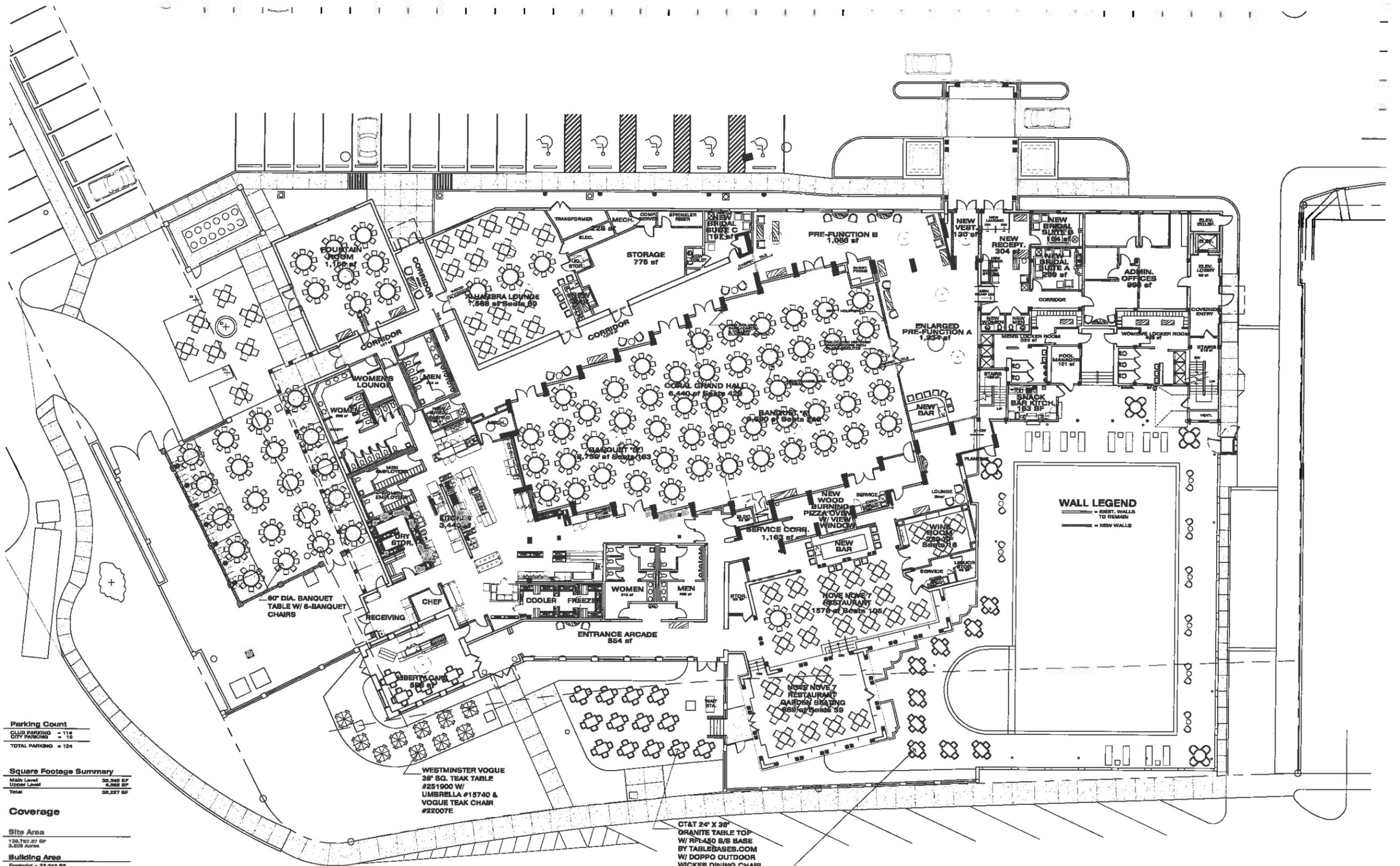
Scheme A
Proposed Main Level Floor Site Plan

Scale 3/32" = 1'-0"

August 31, 2009

Additions and Alterations to:
The Country Club of Coral Gables
 Coral Gables, Florida

Dwg. No.
02



1 **PROPOSED MAIN LEVEL FURNITURE PLAN**
 SCALE: 3/32" = 1'-0"

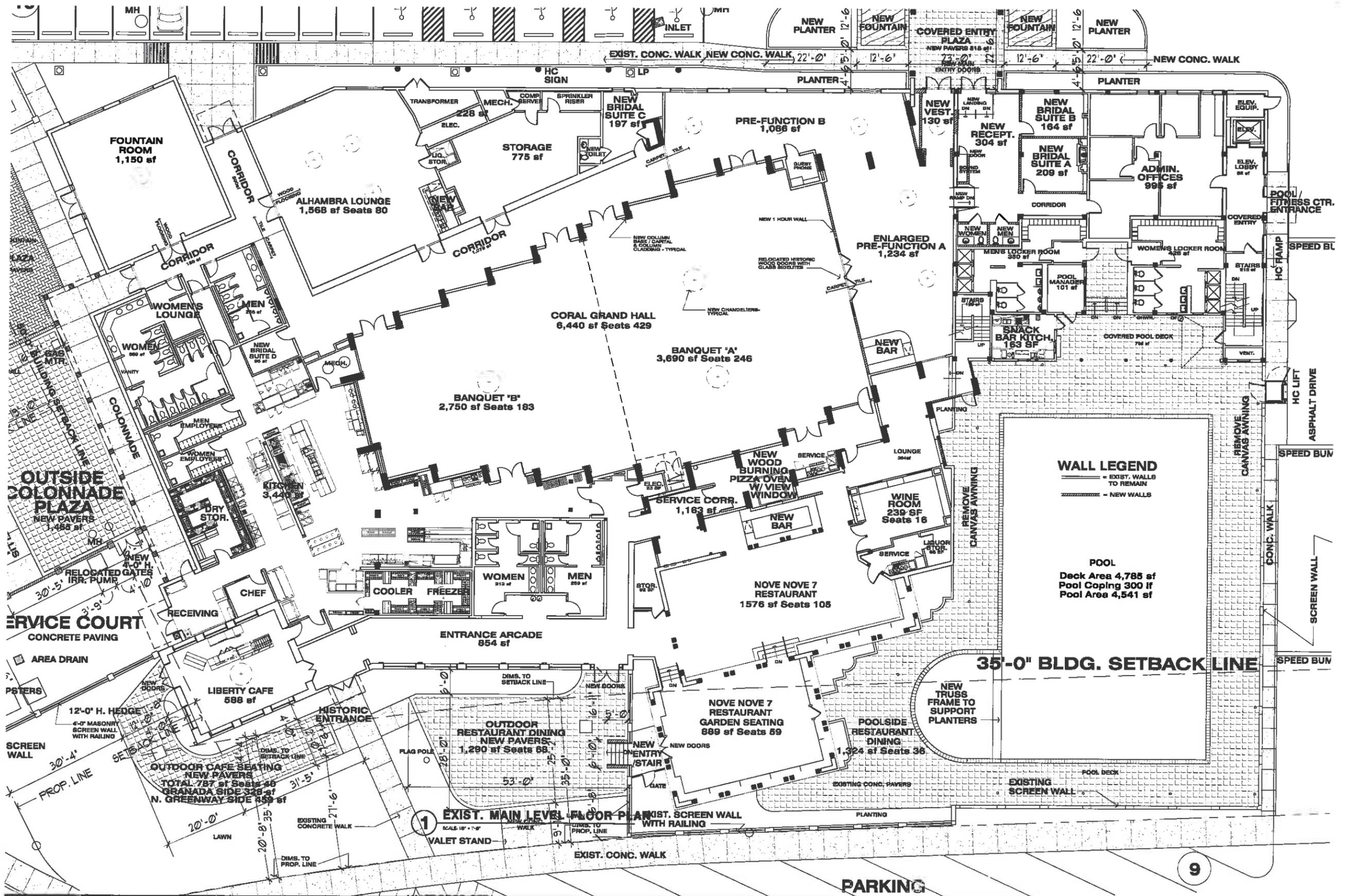
CCI CLUB DESIGN THAT WORKS
 ARCHITECTURE
 INTERIOR DESIGN
 MASTER PLANNING
 FOOD SERVICE PLANNING

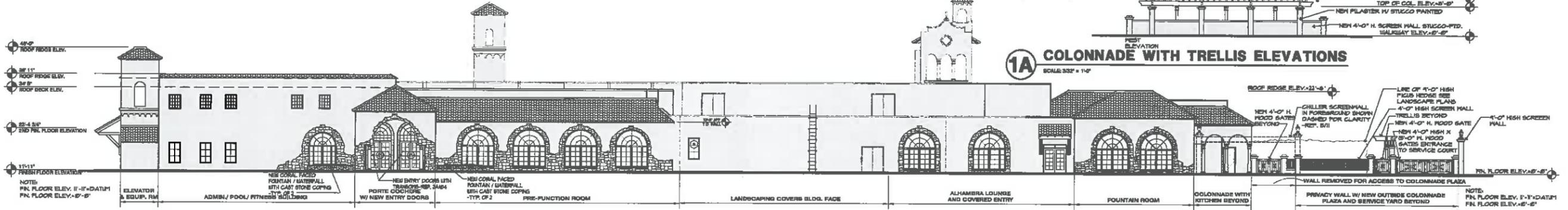
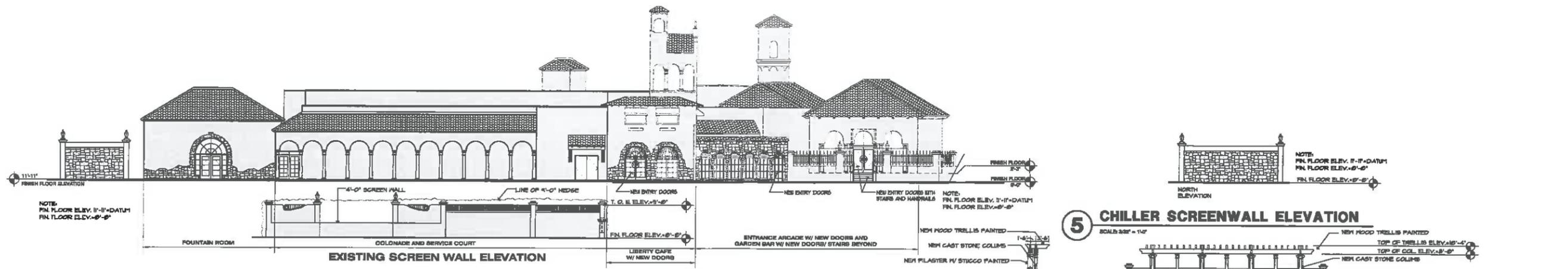
1520 W. AIRPORT FREEWAY
 SUITE 200
 IRVING, TEXAS 75062
 TEL: (972) 253-3583
 FAX: (972) 253-3583
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Scheme A
Proposed Main Level Furniture Plan
 Scale 3/32" = 1'-0" August 31, 2009

Additions and Alterations to:
The Country Club of Coral Gables
 Coral Gables, Florida

Dwg. No.
03F



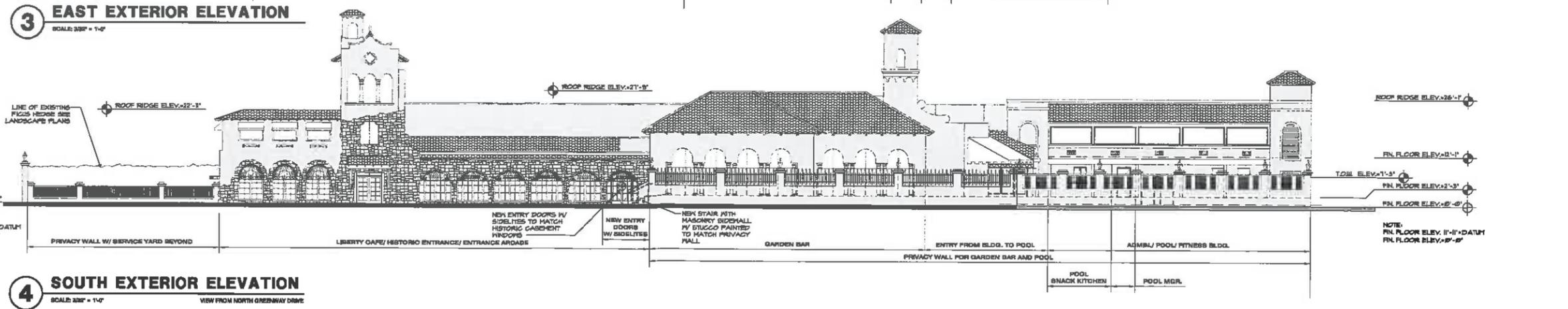


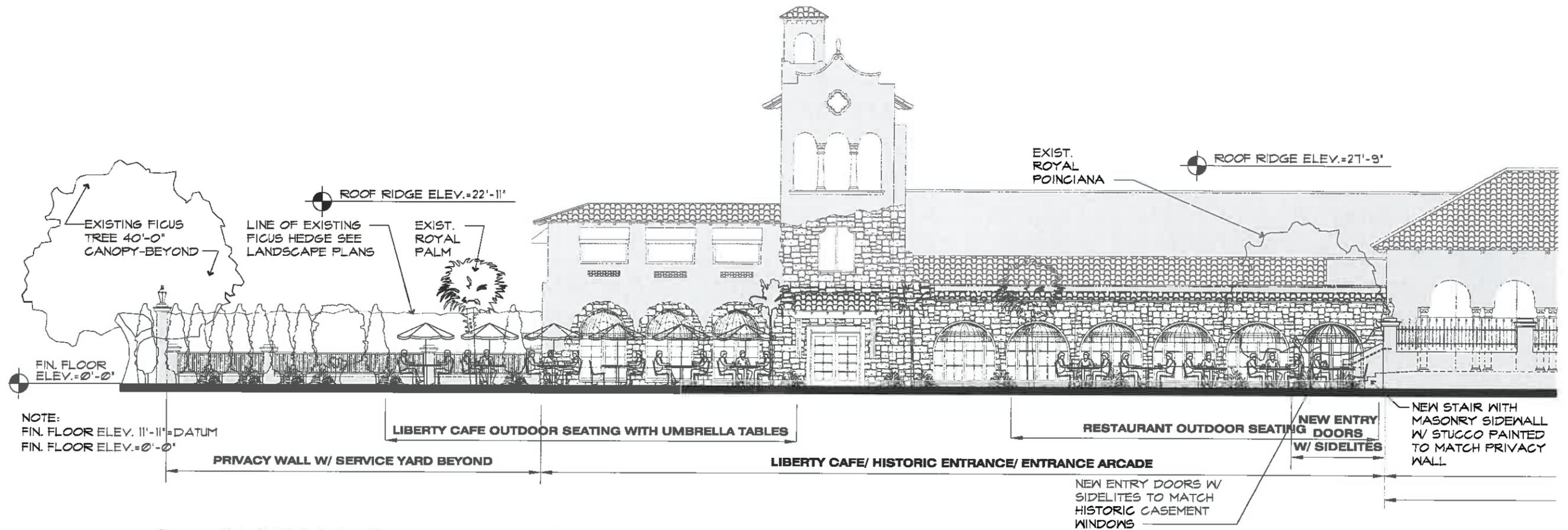
LEGEND OF EXIST. PAINT COLOR SELECTION

NOTES: 1. COLORS SELECTED ARE FROM THOSE PRE-APPROVED BY BOARD OF ARCHITECTS
2. SUBMIT 12" X 12" SAMPLE FOR APPROVAL

PAINT COLOR NO. 1	PAINT COLOR NO. 2
FIELD DENHAM MOORE 2018-90 MORNING BLINKING	TRIM & HIGHLIGHTS DENHAM WILLIAMS BW 7002 DOWNY
NOTE: PAINT COLOR NO. 1 SHOWN SHADED = [shaded box]	NOTE: PAINT COLOR NO. 2 NOT SHADED = [unshaded box]

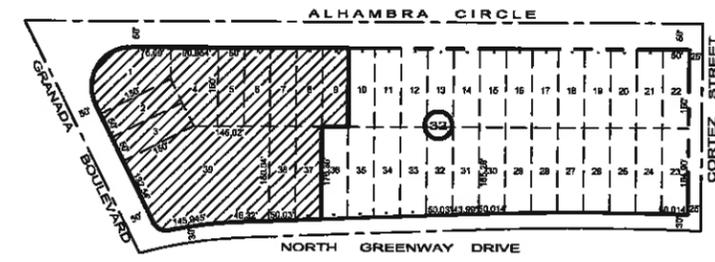
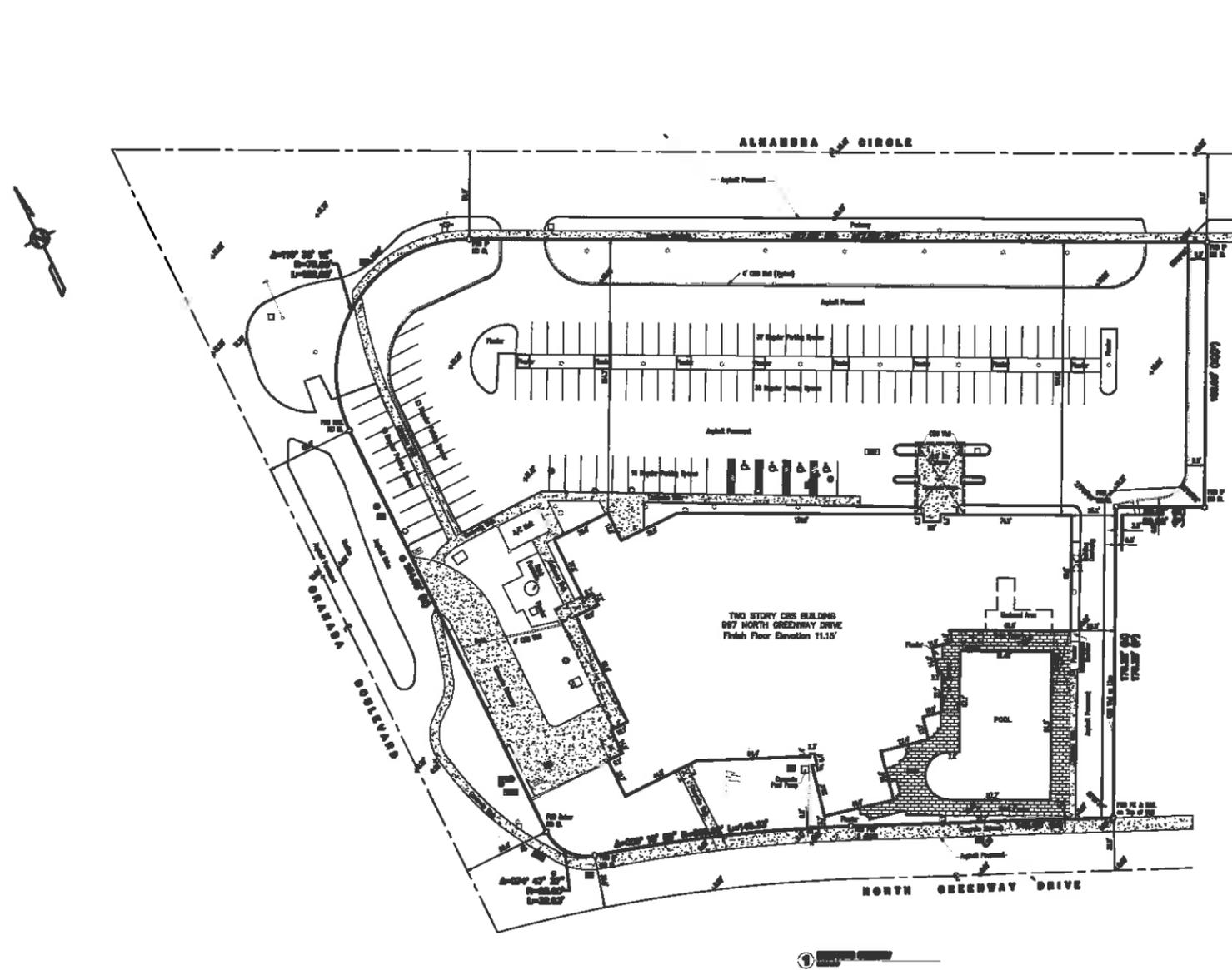
NOTE: EXISTING PAINT COLORS TO REMAIN





4 PARTIAL SOUTH EXTERIOR ELEV. - FURNITURE
 VIEW FROM NORTH GREENWAY DRIVE

SKETCH OF BOUNDARY SURVEY



LOCATION MAP
Not to Scale

- SYMBOL LEGEND:**
- Signal Master Arm
 - Wire Pull Box
 - ⊙ Light Pole
 - Catch Basin
 - ▣ Curb Inlet
 - ⊕ Concrete Light Pole
 - ⊕ Double Detector Checking Valve
 - ⊕ Water Meter
 - ⊕ Water Valve
 - ⊕ Metal Light Pole
 - ⊕ Manhole Drainage
 - ⊕ Manhole Sanitary
 - ⊕ Flag Pole
 - ⊕ Cleanout
 - ⊕ Single Sign Support
 - ⊕ Mail Box

- LEGEND:**
- FND Found
 - IP Iron Pipe
 - CBS Concrete Block Structure
 - Dia Diameter
 - (M) Measure Distance
 - (P) Plat Distance
 - L Length Distance
 - R Radius
 - Δ Delta Angle
 - C Centerline
 - PCP Permanent Control Point

LEGAL DESCRIPTION:
Lots 1 through 9 and Lots 37 through 39, Block 32, CORAL GABLES SECTION 8, according to the plat thereof as recorded in Plat Book 5 at Page 111 of the Public Records of Miami Dade County, Florida.

SURVEYOR'S NOTES:
Right of Way as shown is based on the recorded Plat and the record description. Any notorious evidence of occupation and/or use of the described parcel for Right-of-Way, Ingress or Egress are shown on this survey drawing. However, this survey does not purport to reflect any recorded instruments or Right-of-Way other than shown on the recorded plat or stated in the legal description, as it appears on this drawing.

A comparison between measured (M) and plat (P) is delineated herein. Measured dimensions (M) are based directly on the recovered monumentation and Plat dimensions (P) are based on the record Plat.

Elevations are referred to National Geodetic Vertical Datum (NGVD 1929). Elevations are based on City of Coral Gables Benchmark No. 18 the same is a Pk Nail and Brass Washer located at the Northwest corner of Greenway Drive and Granada Boulevard. Elevation 9.20'.

Only the surface indications of the underground utilities have been located. There may be other underground utilities in addition to those evidenced by visible appurtenances as shown on this sketch. No subsurface investigation has been performed by the Surveyor. Underground footings have not been located.

This sketch shown herein in its graphic form is the record depiction of the surveyed lands described herein and will in no circumstances be supplanted in authority by any other graphic or digital format of this Survey. This map is intended to be displayed at a scale of 1"=30' or smaller. At the maximum intended displayed scale the survey and sketch's positional accuracy value occupies 1/20" on the display.

SURVEYOR'S CERTIFICATE:
This is to certify to the herein named firm and/or persons that the "BOUNDARY SURVEY" of the herein described property is true and correct to the best of our knowledge and belief as surveyed and plotted under our direction on July 7, 1996. I further certify that this survey meets the Minimum Technical Standard Requirements as set forth in Rule 81G17-6 as adopted by the Florida Board of Professional Surveyors and Mappers pursuant to Chapter 472.027 Florida Statutes.

E. R. BROWNELL & ASSOCIATES, INC.
Thomas Brownell
Thomas Brownell
Executive Vice President
Professional Land Surveyor #2991
State of Florida

Revised to show additional information on July 28, 2008

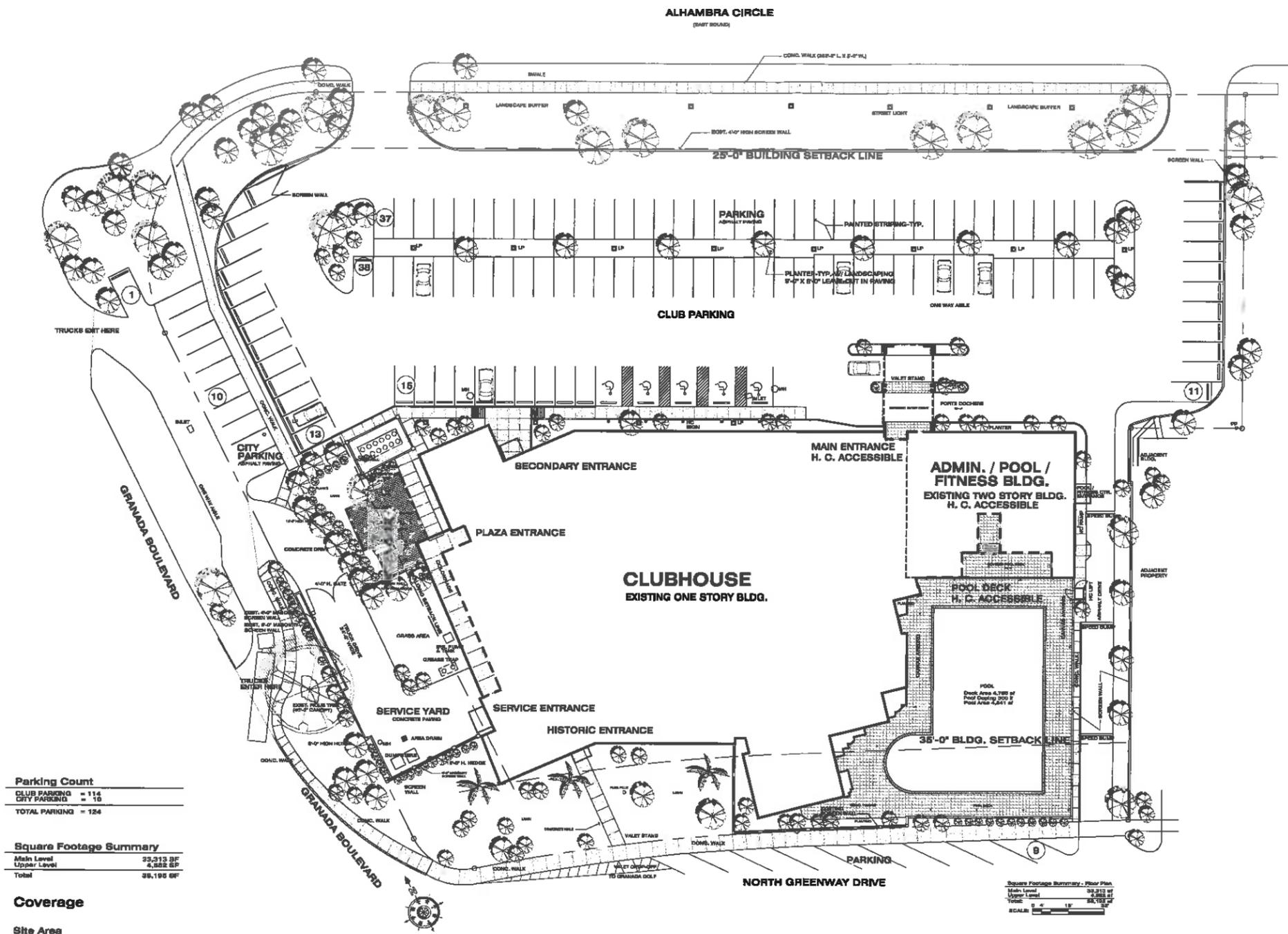
E.R. Brownell & Associates, Inc.
CONSULTING ENGINEERS LAND PLANNERS SURVEYORS & MAPPERS
2434 SW 28th LANE WWW.ERBROWNELL.COM Miami, Florida, 33135
305-430-2222 Co-Registered in La. LE791 305-880-3970 (FAX)

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Existing Survey

July 08, 2008

Additions and Alterations to:
The Country Club of Coral Gables Dwg. No. **05**
Coral Gables, Florida

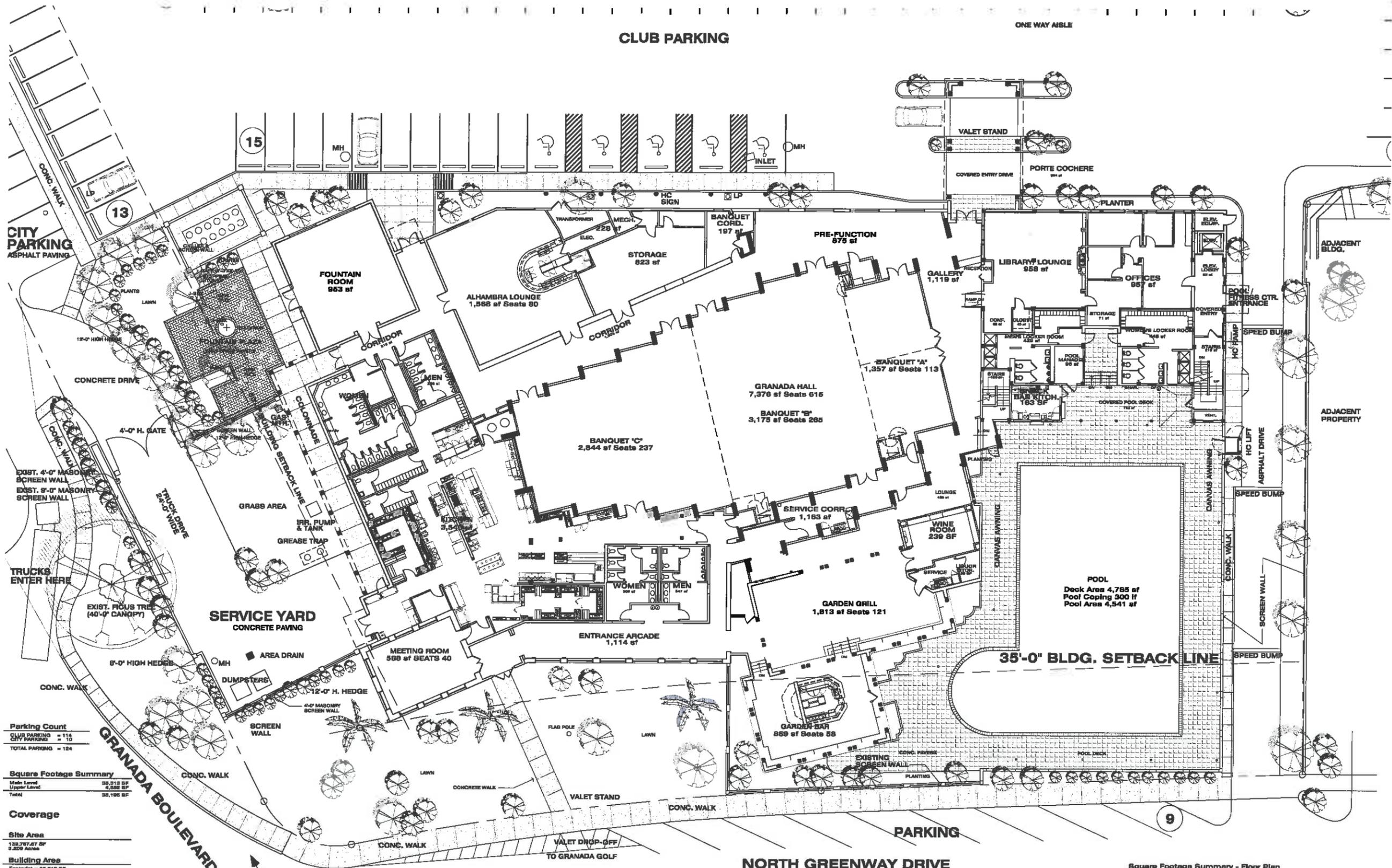


Parking Count	
CLUB PARKING	= 114
CITY PARKING	= 19
TOTAL PARKING	= 133

Square Footage Summary	
Main Level	23,313 SF
Upper Level	4,382 SF
Total	27,695 SF

Coverage	
Site Area	
138,787.87 SF	3.209 Acres
Building Area	
Footprint = 27,695 SF	Coverage = 23.53 Percent

1 EXISTING SITE PLAN
SCALE 1" = 20'-0"



Parking Count

CLUB PARKING	= 114
CITY PARKING	= 10
TOTAL PARKING	= 124

Square Footage Summary

Main Level	33,313 SF
Upper Level	4,882 SF
Total	38,195 SF

Coverage

Site Area
138,797.87 SF
3.226 Acres

Building Area
Footprint = 33,313 SF
Coverage = 24.02 Percent

Square Footage Summary - Floor Plan

Main Level	33,313 sf
Upper Level	4,882 sf
Total	38,195 sf

SCALE: 0' 4' 16' 32'

1 **EXIST. MAIN LEVEL SITE FLOOR PLAN**
SCALE: 3/32" = 1'-0"

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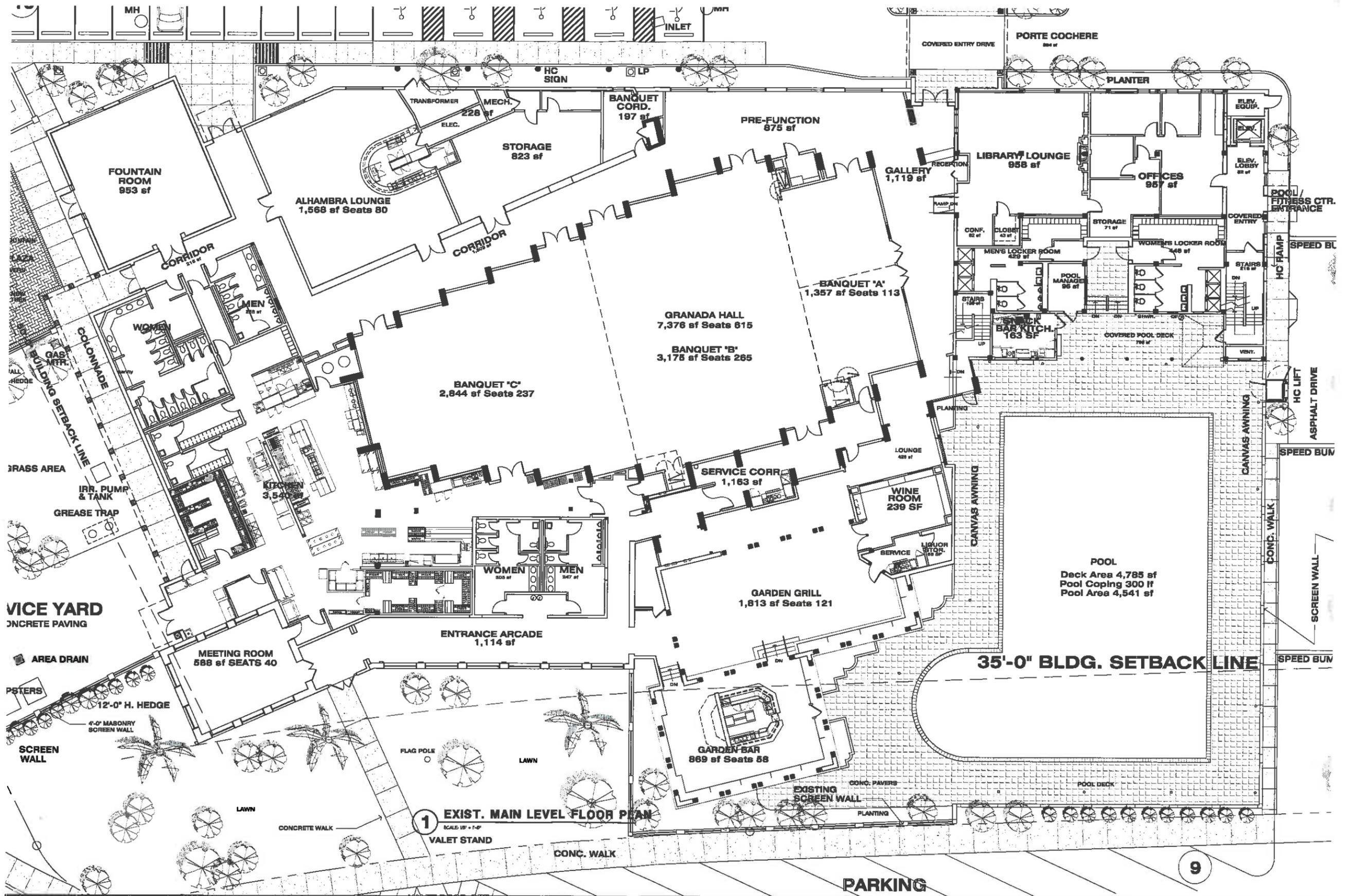
**Existing
Main Level Floor Site Plan**

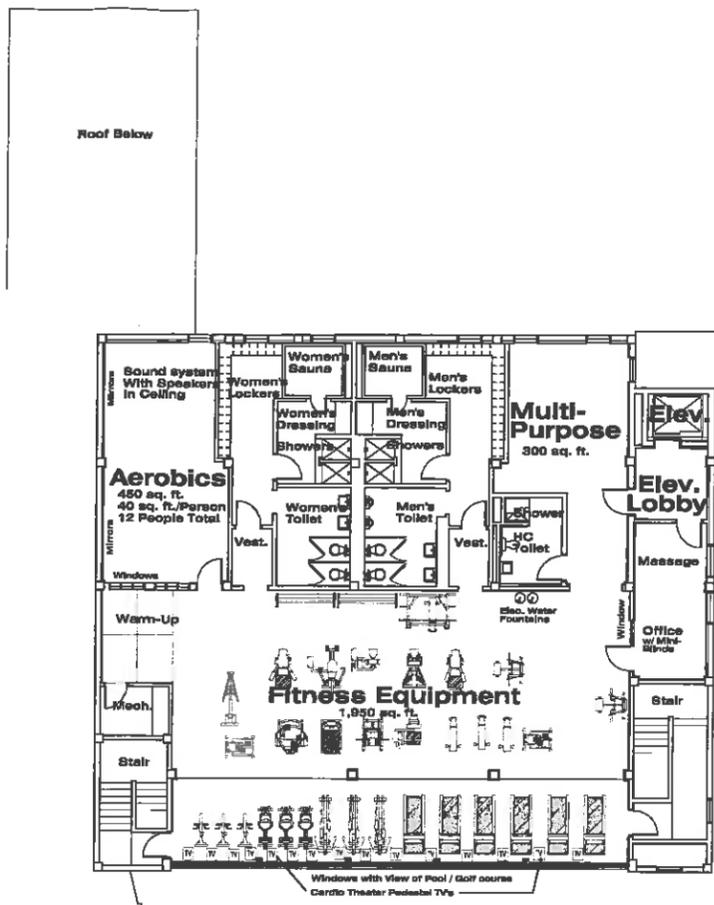
Scale 3/32" = 1'-0"

August 31, 2009

Additions and Alterations to:
The Country Club of Coral Gables
Coral Gables, Florida

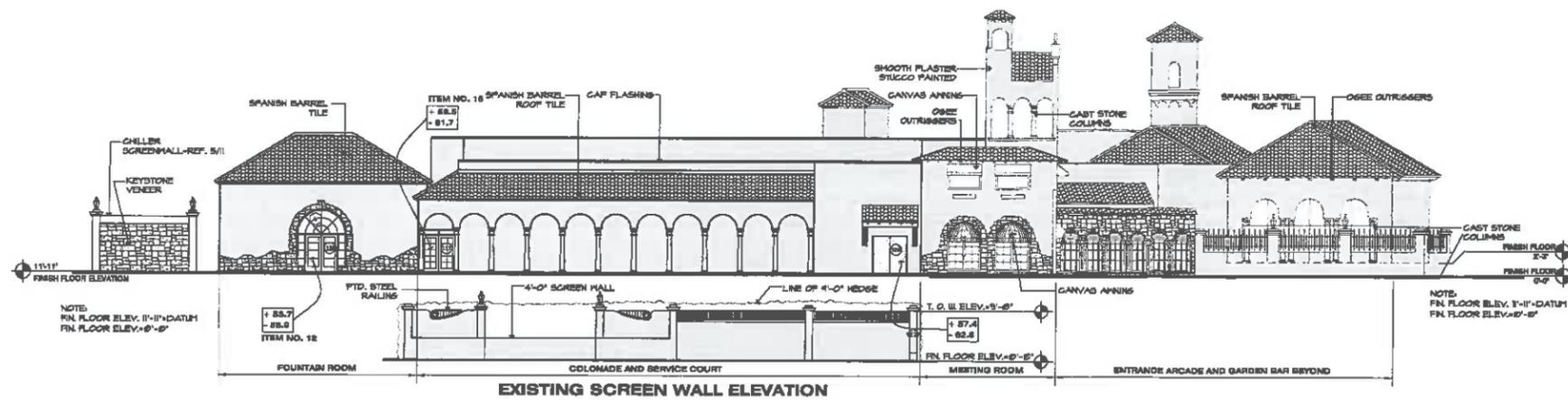
**Dwg. No.
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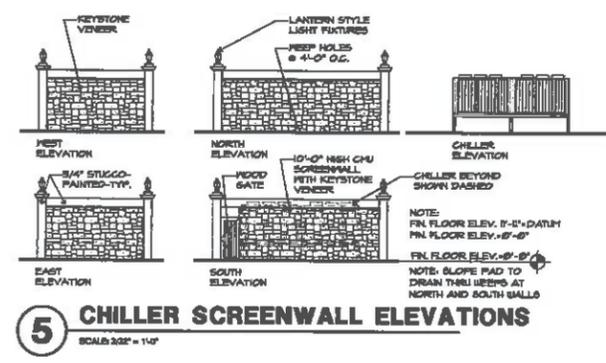


1 Exist. Second Level Floor Plan - Fitness Center
 SCALE: 1/8" = 1'-0"
 Second Level Square Footage 4,882 sf
 SCALE: 0 4' 16' 32'

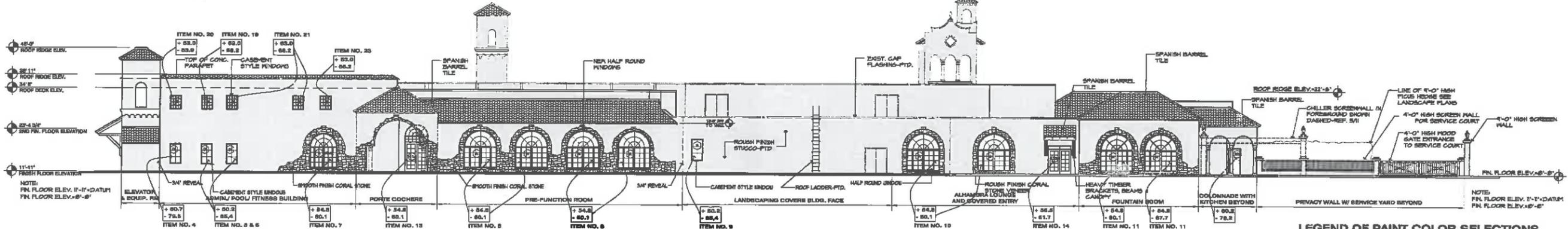




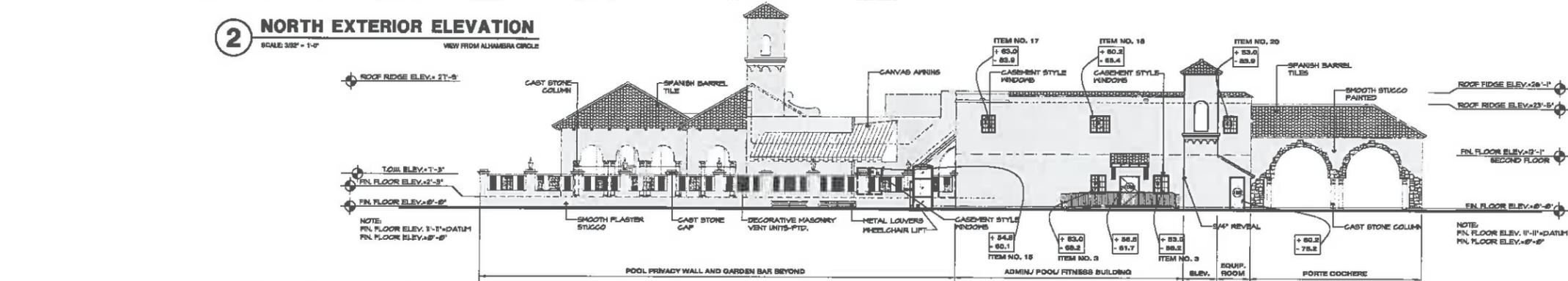
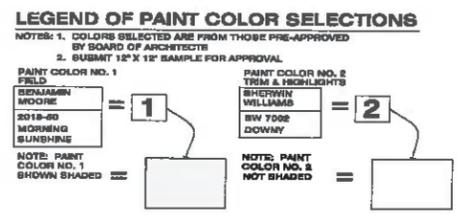
1 WEST EXTERIOR ELEVATION
SCALE: 3/32" = 1'-0"
VIEW FROM GRANADA BLVD.



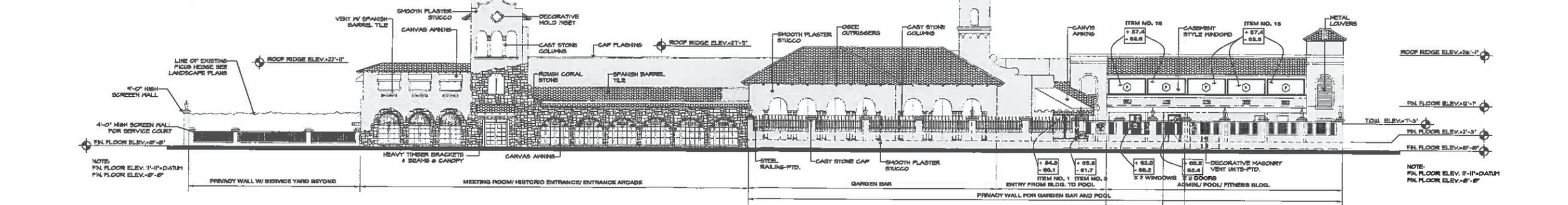
5 CHILLER SCREENWALL ELEVATIONS
SCALE: 3/32" = 1'-0"



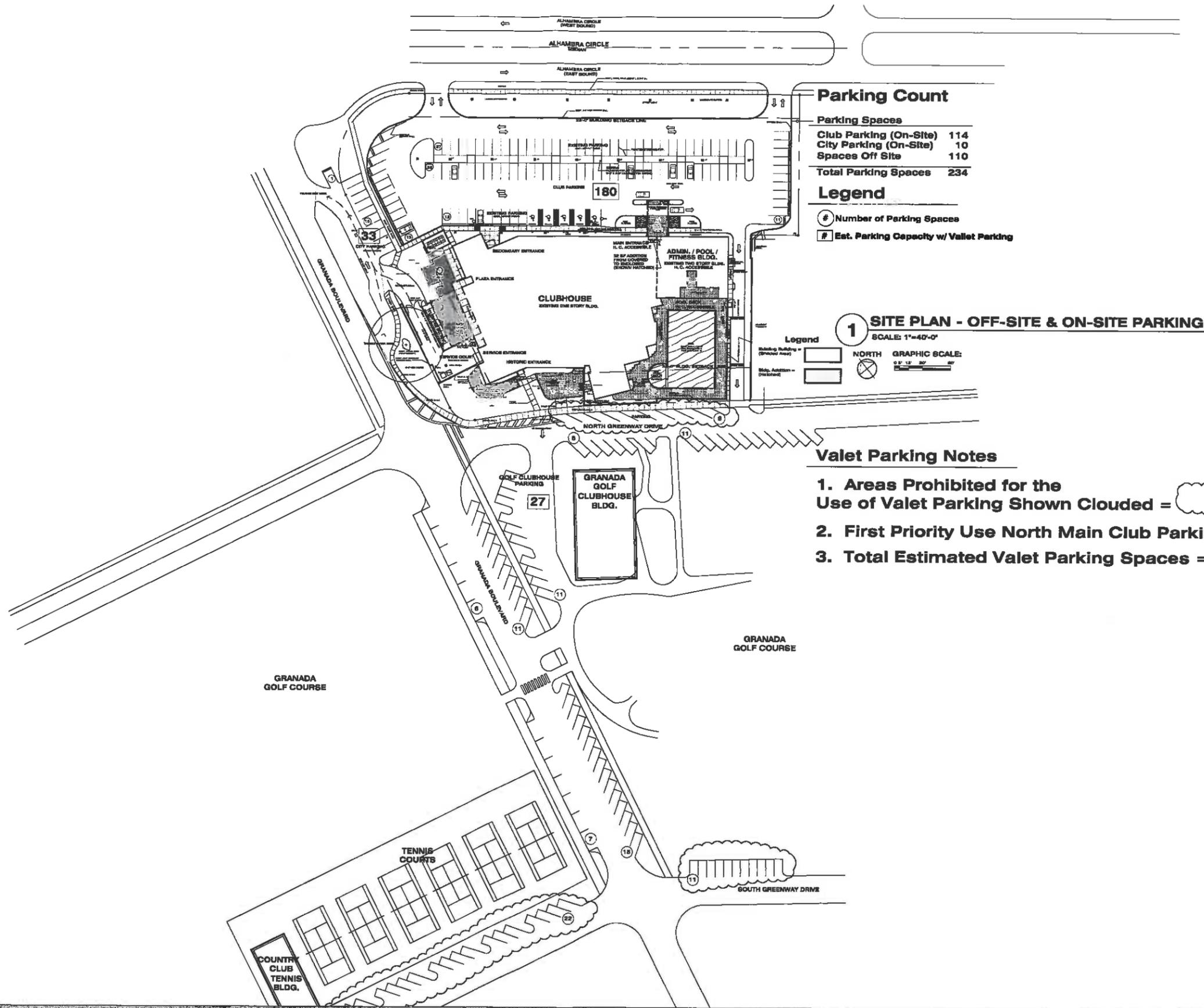
2 NORTH EXTERIOR ELEVATION
SCALE: 3/32" = 1'-0"
VIEW FROM ALHAMBRA CIRCLE

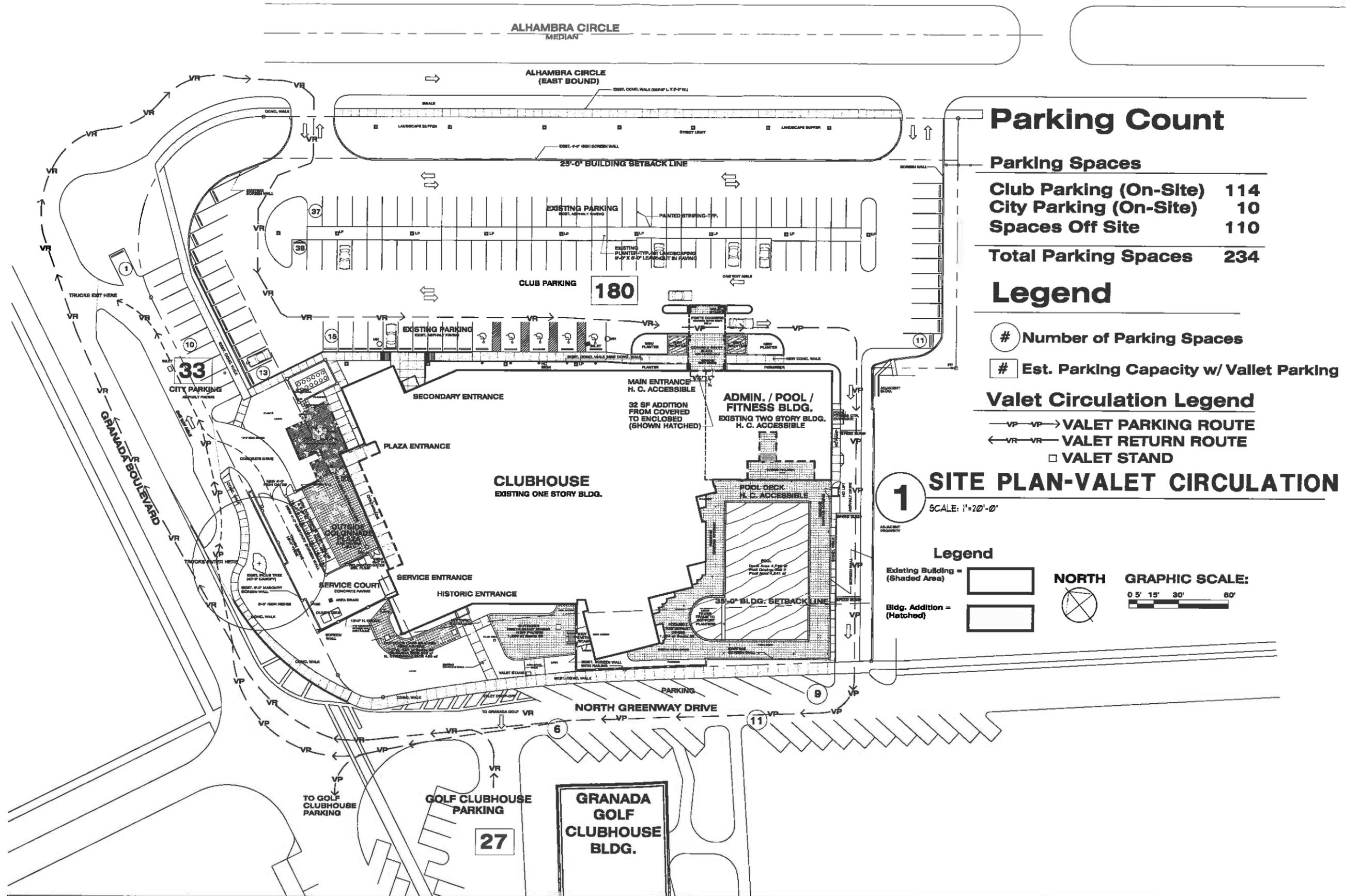


3 EAST EXTERIOR ELEVATION
SCALE: 3/32" = 1'-0"



4 SOUTH EXTERIOR ELEVATION
SCALE: 3/32" = 1'-0"
VIEW FROM NORTH GREENWAY DRIVE





Parking Count

Parking Spaces	
Club Parking (On-Site)	114
City Parking (On-Site)	10
Spaces Off Site	110
Total Parking Spaces	234

Legend

- # Number of Parking Spaces
- # Est. Parking Capacity w/ Valet Parking

Valet Circulation Legend

- VP → VALET PARKING ROUTE
- ← VR VALET RETURN ROUTE
- VALET STAND

1 SITE PLAN-VALET CIRCULATION

SCALE: 1"=20'-0"

Legend

Existing Building = (Shaded Area)

Bldg. Addition = (Hatched)

NORTH

GRAPHIC SCALE:
0' 15' 30' 60'

**Coral Gables Country Club
Athletic Club Renovation
DRC Submittal Package**

Contact Information

- **Property Owner**
City of Coral Gables
405 Biltmore Way
Coral Gables, Florida 33134
305-476-7231
- **Applicant**
Anthony DiDonato
997 North Greenway Drive
Coral Gables, Florida 33134
305-392-0819
- **Architect of Record**
Vitalini Corazzini Architects
300 Aragon Avenue, Suite 330
Coral Gables, Florida 33134
305-567-0602