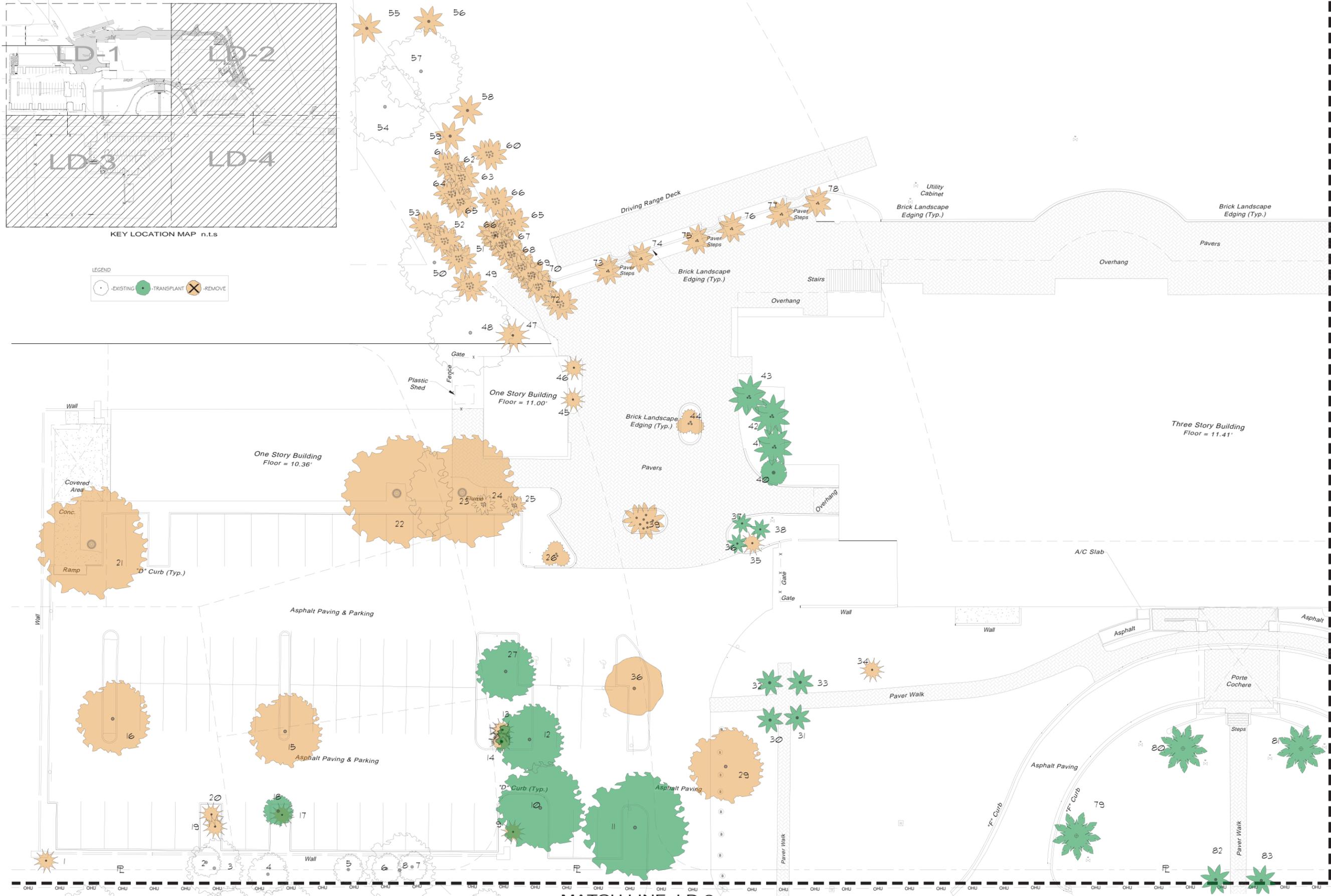


KEY LOCATION MAP n.t.s



MATCH LINE LD-3

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TREE DISPOSITION PLAN
SCALE: 1/16" = 1'-0"



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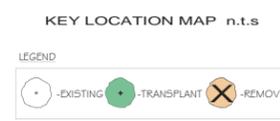
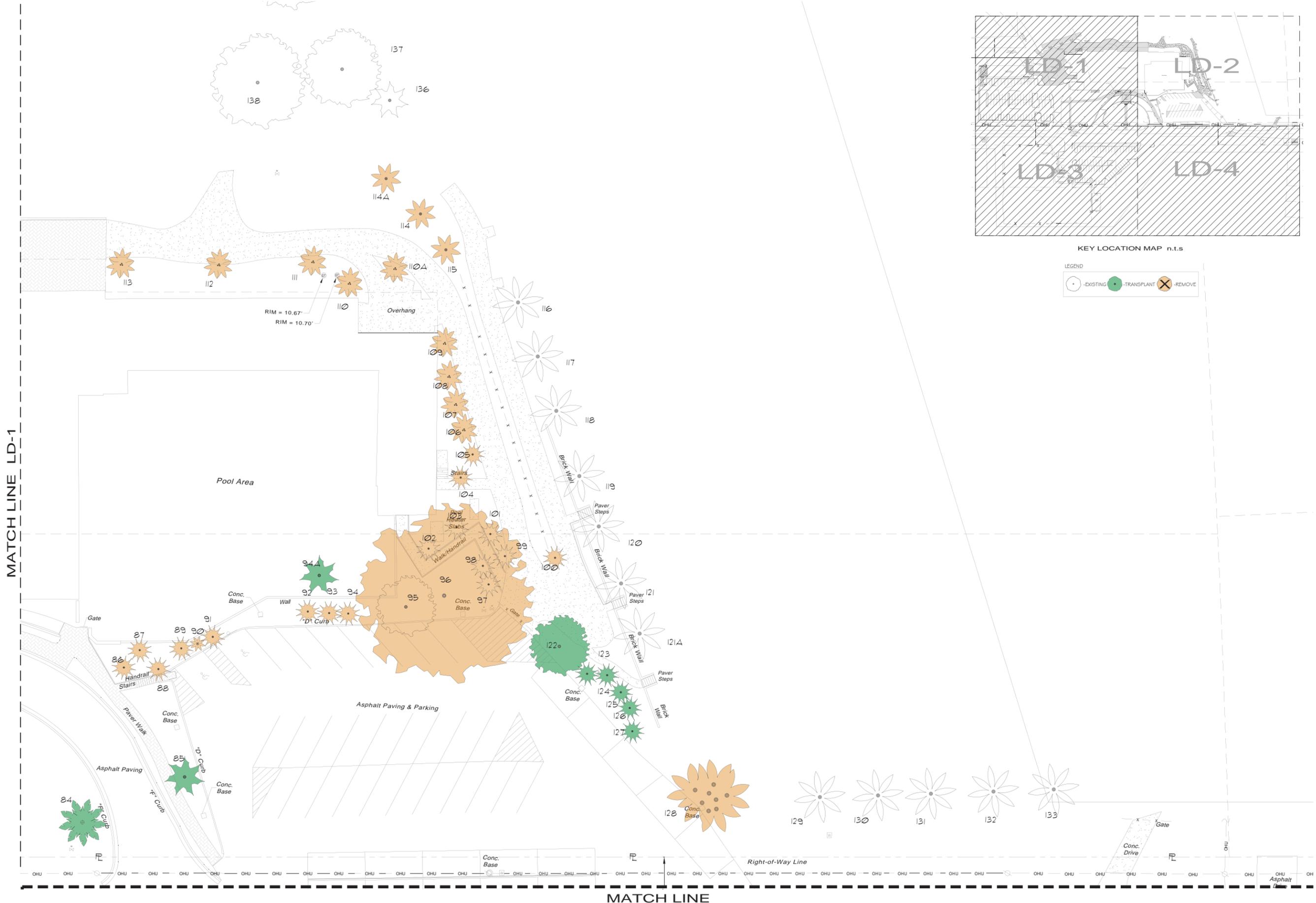
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LD-1

Of:

Filename: \\PROJECTS\Riviera Country Club\LA-Riviera Country Club-Tree Disposition-Current - Plot Date: 8/27/2015 - Plotted By: Geomantic

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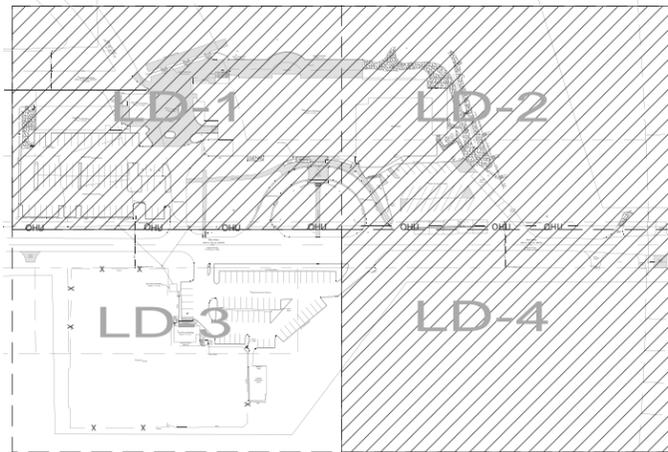
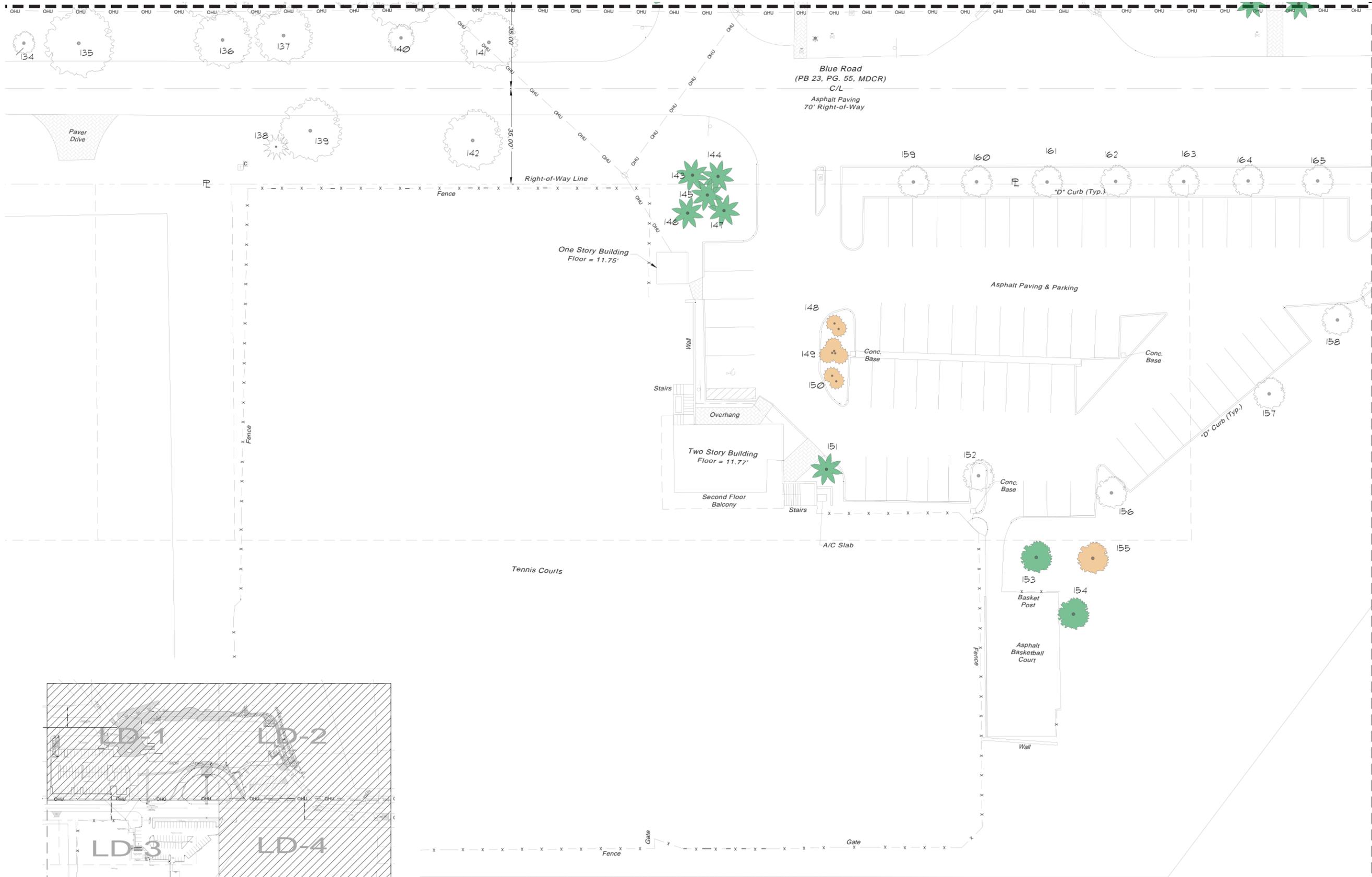
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TREE DISPOSITION PLAN
SCALE: 1/16" = 1'-0"

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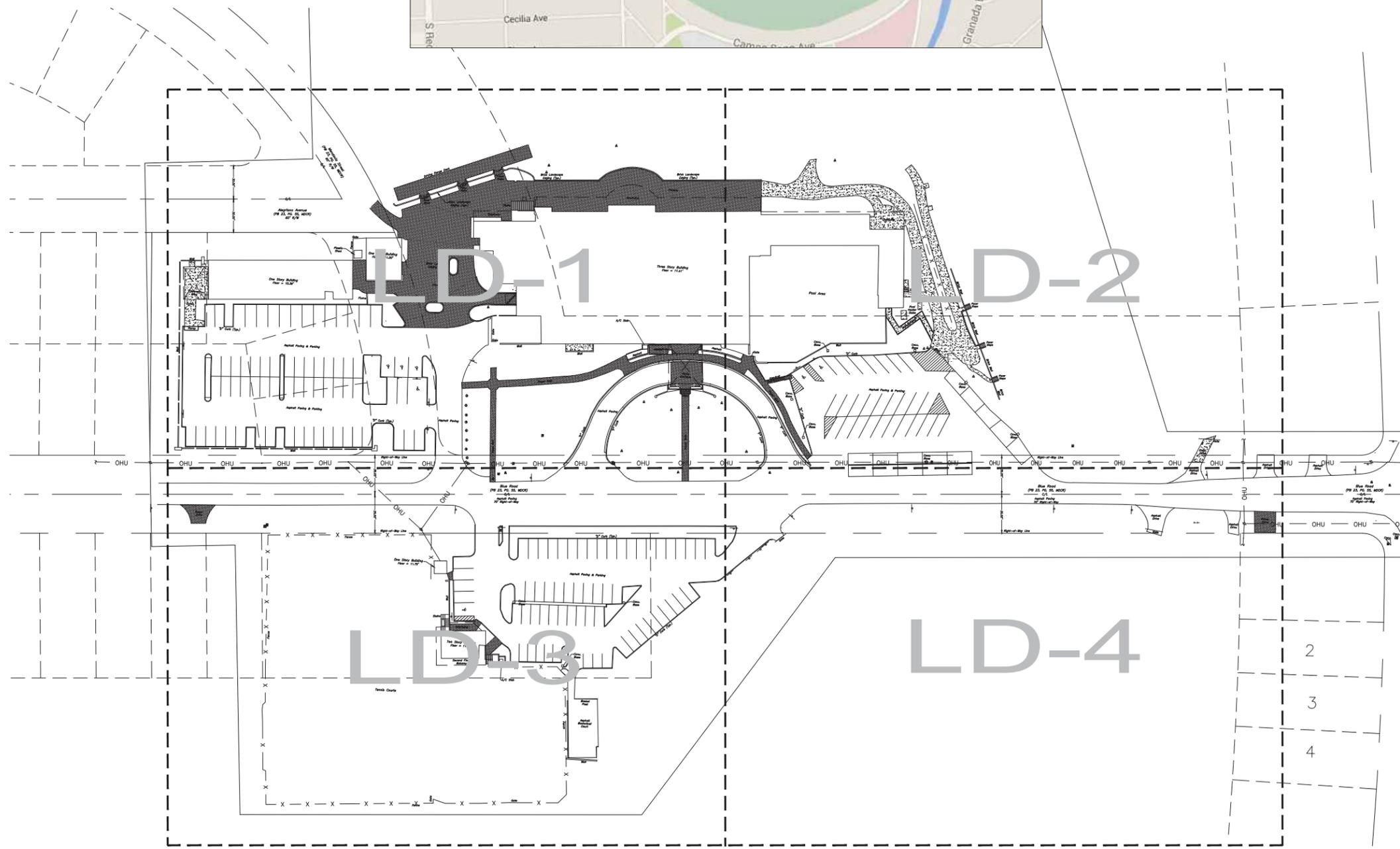
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LD-5

Of:

Riviera Golf Club - Tree Disposition List: August 2015

LD-1-4								
No.	qnt	Common Name	Botanical Name	Native	dbh	Ht.	Spr.	Disposition
1	1	Queen Palm	Syagrus romanzoffiana	N	6	20	15	177 Demo
2	1	Gumbo Limbo	Bursera simaruba	Y	19	30	30	To Remain
3	1	Gumbo Limbo	Bursera simaruba	Y	16	30	30	To Remain
4	1	Gumbo Limbo	Bursera simaruba	Y	18	30	25	To Remain
5	1	Gumbo Limbo	Bursera simaruba	Y	14	30	25	To Remain
6	1	Gumbo Limbo	Bursera simaruba	Y	10	30	15	To Remain
7	1	Gumbo Limbo	Bursera simaruba	Y	6	30	15	To Remain
8	1	Oak Tree	Quercus virginiana	Y	36	40	60	To Remain
9	1	Queen Palm	Syagrus romanzoffiana	N	8	30	15	177 Demo
10	1	Mahogany tree	Swietenia mahagoni	Y	29	35	45	Relocate
11	1	Mahogany tree	Swietenia mahagoni	Y	26	35	30	Relocate
12	1	Mahogany tree	Swietenia mahagoni	Y	48	35	50	Relocate
13	1	Alexander palm	Ptychosperma elegans	N	3	30	5	20 Demo
14	1	Sabal palm	Sabal palmetto	Y	8	20	15	177 Demo
15	1	Wild Tamarind	Lysiloma latisiliqua	Y	18	25	30	Demo
16	1	Pongam Tree	Pongamia pinnata	Y	18	25	30	Demo
17	1	Alexander palm	Ptychosperma elegans	N	3	30	5	20 Demo
18	1	Unknown		N	9	25	20	Relocate
19	1	Queen Palm	Syagrus romanzoffiana	N	6	20	15	177 Demo
20	1	Queen Palm	Syagrus romanzoffiana	N	6	20	15	177 Demo
21	1	Oak Tree	Quercus virginiana	Y	32	30	28	615 Demo
22	1	Oak Tree	Quercus virginiana	Y	38	45	50	Relocate
23	1	Black Olive tree	Bucida buceras	N	28	35	45	Relocate
24	1	Areca palms	Ptychosperma elegans	N	Multi	15	15	177 Demo
25	1	Areca palms	Ptychosperma elegans	N	Multi	15	15	177 Demo
26	1	Christmans palm (tpl.)	Adonidia merrillii	N	4	6	10	Relocate
27	1	Black Olive tree	Bucida buceras	N	18	28	30	Relocate
28	1	Bottlebrush tree	Callistemon citrinus	N	16	20	20	314 Demo
29	1	Black Olive tree	Bucida buceras	N	29	35	45	Demo
30	1	Footail palm	Wodyetia bifurcata	N	12	20	15	Relocate
31	1	Footail palm	Wodyetia bifurcata	N	12	20	15	Relocate
32	1	Footail palm	Wodyetia bifurcata	N	12	20	15	Relocate
33	1	Footail palm	Wodyetia bifurcata	N	12	20	15	Relocate
34	1	Queen Palm	Syagrus romanzoffiana	N	6	20	15	177 Demo
35	1	Queen Palm (dbl)	Syagrus romanzoffiana	N	10	30	20	314 Demo
36	1	Chinese palm	Livistona chinensis	N	6	25	15	Relocate
37	1	Chinese palm	Livistona chinensis	N	6	25	15	Relocate
38	1	Chinese palm	Livistona chinensis	N	6	25	15	Relocate
39	1	Reclinata palm	Phoenix reclinata	N	multi	15	20	Relocate
40	1	Japanese Fem tree	Filicium decipiens	N	4	15	25	Relocate
41	1	Chinese palm (tpl)	Livistona chinensis	N	14	18	24	Relocate
42	1	Cabada palm (tpl)	Dypsis cabadae	N	3	20	10	Relocate
43	1	Chinese palm (tpl)	Livistona chinensis	N	14	18	24	Relocate
44	1	Pygmy Date palm (tpl.)	Phoenix roebelenii	N	3	10	15	Relocate
45	1	Queen Palm	Syagrus romanzoffiana	N	6	25	10	79 Demo
46	1	Queen Palm	Syagrus romanzoffiana	N	6	25	10	79 Demo
47	1	Queen Palm	Syagrus romanzoffiana	N	8	30	15	177 Demo
48	1	Oak Tree	Quercus virginiana	Y	48	40	60	To Remain
49	1	Areca palms	Ptychosperma elegans	N	Multi	15	20	314 Demo
50	1	Oak Tree	Quercus virginiana	Y	28	36	40	To Remain
51	1	Areca palms	Ptychosperma elegans	N	Multi	15	20	314 Demo
52	1	Areca palms	Ptychosperma elegans	N	Multi	15	20	314 Demo
53	1	Areca palms	Ptychosperma elegans	N	Multi	15	20	314 Demo
54	1	Oak Tree	Quercus virginiana	Y	42	35	40	To Remain
55	1	Chinese palm	Livistona chinensis	N	4	10	8	50 Demo
56	1	Chinese palm	Livistona chinensis	N	4	10	8	50 Demo
57	1	Oak Tree	Quercus virginiana	Y	30	35	45	To Remain
58	1	Chinese palm	Livistona chinensis	N	6	28	10	Relocate
59	1	Chinese palm	Livistona chinensis	N	6	28	10	Relocate
60	1	Chinese palm	Livistona chinensis	N	6	28	10	Relocate
61	1	Areca palms	Dypsis lutescens	N	Multi	15	20	314 Demo
62	1	Areca palms	Dypsis lutescens	N	Multi	15	20	314 Demo
63	1	Areca palms	Dypsis lutescens	N	Multi	15	20	314 Demo
64	1	Areca palms	Dypsis lutescens	N	Multi	15	20	314 Demo
65	1	Areca palms	Dypsis lutescens	N	Multi	15	20	314 Demo
66	1	Areca palms	Dypsis lutescens	N	Multi	15	20	314 Demo
67	1	Areca palms	Dypsis lutescens	N	Multi	15	20	314 Demo
68	1	Areca palms	Dypsis lutescens	N	Multi	15	20	314 Demo
69	1	Areca palms	Dypsis lutescens	N	Multi	15	20	314 Demo

Riviera Golf Club - Tree Disposition List: August 2015

LD-1-4								
No.	qnt	Common Name	Botanical Name	Native	dbh	Ht.	Spr.	Disposition
70	1	Areca palms	Dypsis lutescens	N	Multi	15	20	314 Demo
71	1	Areca palms	Dypsis lutescens	N	Multi	15	20	314 Demo
72	1	Areca palms	Dypsis lutescens	N	Multi	15	20	314 Demo
73	1	Alexander palm (tpl.)	Ptychosperma elegans	N	3	15	5	20 Demo
74	1	Alexander palm (tpl.)	Ptychosperma elegans	N	3	15	5	20 Demo
75	1	Alexander palm (tpl.)	Ptychosperma elegans	N	3	15	5	20 Demo
76	1	Alexander palm (tpl.)	Ptychosperma elegans	N	3	15	5	20 Demo
77	1	Alexander palm (tpl.)	Ptychosperma elegans	N	3	15	5	20 Demo
78	1	Alexander palm (tpl.)	Ptychosperma elegans	N	3	15	5	20 Demo
79	1	Canary Date Palm	Phoenix canariensis	N	20	22	20	Relocate
80	1	Canary Date Palm	Phoenix canariensis	N	20	22	20	Relocate
81	1	Canary Date Palm	Phoenix canariensis	N	20	22	20	Relocate
82	1	African cycad	Encephalartos ferox	N	8	6	5	Relocate
83	1	African cycad	Encephalartos ferox	N	8	6	5	Relocate
84	1	Canary Date Palm	Phoenix canariensis	N	20	22	20	Relocate
85	1	Bismark palm (silver)	Bismarckia nobilis	N	24	20	22	Relocate
86	1	Queen Palm	Syagrus romanzoffiana	N	12	28	15	177 Demo
87	1	Queen Palm	Syagrus romanzoffiana	N	12	15	15	177 Demo
88	1	Queen Palm	Syagrus romanzoffiana	N	12	15	15	177 Demo
89	1	Queen Palm	Syagrus romanzoffiana	N	10	28	15	177 Demo
90	1	Alexander palm	Syagrus romanzoffiana	N	4	30	5	20 Demo
91	1	Queen Palm	Syagrus romanzoffiana	N	10	28	15	177 Demo
92	1	Queen Palm	Syagrus romanzoffiana	N	8	25	15	177 Demo
93	1	Queen Palm	Syagrus romanzoffiana	N	8	25	15	177 Demo
94	1	Queen Palm	Syagrus romanzoffiana	N	8	25	15	177 Demo
94A	1	Bismark palm (silver)	Bismarckia nobilis	N	24	35	20	Relocate
95	1	Oak Tree	Quercus virginiana	Y	6	24	15	177 Demo
96	1	Ficus small Leaf	Ficus benjamina	N	48	55	85	5,672 Demo
97	1	Chinese palm	Livistona chinensis	N	4	10	8	50 Demo
98	1	Chinese palm	Livistona chinensis	N	4	10	8	50 Demo
99	1	Chinese palm	Livistona chinensis	N	4	10	8	50 Demo
100	1	Chinese palm	Livistona chinensis	N	4	10	8	50 Demo
101	1	Chinese palm	Livistona chinensis	N	4	10	8	50 Demo
102	1	Chinese palm	Livistona chinensis	N	4	10	8	50 Demo
103	1	Chinese palm	Livistona chinensis	N	4	10	8	50 Demo
104	1	Chinese palm	Livistona chinensis	N	4	10	8	50 Demo
105	1	Chinese palm	Livistona chinensis	N	4	10	8	50 Demo
106	1	Alexander palm (dbl.)	Ptychosperma elegans	N	3	25	6	28 Demo
107	1	Alexander palm (dbl.)	Ptychosperma elegans	N	3	25	6	28 Demo
108	1	Alexander palm (dbl.)	Ptychosperma elegans	N	3	25	6	28 Demo
109	1	Alexander palm (dbl.)	Ptychosperma elegans	N	3	25	6	28 Demo
110	1	Chinese palm (tpl.)	Livistona chinensis	N	4	10	8	50 Demo
110A	1	Alexander palm (quad)	Ptychosperma elegans	N	3	25	10	79 Demo
111	1	Alexander palm (tpl.)	Ptychosperma elegans	N	3	25	6	28 Demo
112	1	Alexander palm (dbl.)	Ptychosperma elegans	N	3	25	6	28 Demo
113	1	Alexander palm (quad)	Ptychosperma elegans	N	3	25	10	79 Demo
114	1	Alexander palm (sgl.)	Ptychosperma elegans	N	3	25	5	20 Demo
114A	1	Alexander palm (sgl.)	Ptychosperma elegans	N	3	25	5	20 Demo
115	1	Alexander palm (sgl.)	Ptychosperma elegans	N	3	25	5	20 Demo
116	1	Royal palm	Roystonea regia	Y	18	30	20	To Remain
117	1	Royal palm	Roystonea regia	Y	18	30	20	To Remain
118	1	Royal palm	Roystonea regia	Y	18	30	20	To Remain
119	1	Royal palm	Roystonea regia	Y	18	30	20	To Remain
120	1	Royal palm	Roystonea regia	Y	18	30	20	To Remain
121	1	Royal palm	Roystonea regia	Y	18	30	20	To Remain
121A	1	Royal palm	Roystonea regia	Y	18	30	20	To Remain
122	1	Oak Tree	Quercus virginiana	Y	14	20	30	Relocate
123	1	Chinese palm	Livistona chinensis	N	4	15	8	Relocate
124	1	Chinese palm	Livistona chinensis	N	4	15	8	Relocate
125	1	Chinese palm	Livistona chinensis	N	4	15	8	Relocate
126	1	Chinese palm	Livistona chinensis	N	4	15	8	Relocate
127	1	Chinese palm	Livistona chinensis	N	4	15	8	Relocate
128	1	Areca palms (clust)	Dypsis lutescens	N	Multi	15	20	314 Demo
129	1	Royal palm	Roystonea regia	Y	18	25	15	To Remain
130	1	Royal palm	Roystonea regia	Y	18	25	15	To Remain
131	1	Royal palm	Roystonea regia	Y	18	25	15	To Remain
132	1	Royal palm	Roystonea regia	Y	18	25	15	To Remain
133	1	Royal palm	Roystonea regia	Y	18	25	15	To Remain
134	1	Black Olive tree	Bucida buceras	N	12	28	10	79 Demo
135	1	Black Olive tree	Bucida buceras	N	24	40	50	To Remain

Riviera Golf Club - Tree Disposition List: August 2015

LD-1-4								
No.	qnt	Common Name	Botanical Name	Native	dbh	Ht.	Spr.	Disposition
136	1	Black Olive tree	Bucida buceras	N	16	30	30	To Remain
137	1	Black Olive tree	Bucida buceras	N	16	30	30	To Remain
138	1	Sabal palm	Sabal palmetto	Y	8	20	10	To Remain
139	1	Ficus Strangler	Ficus auera	Y	36	28	35	To Remain
140	1	Black Olive tree	Bucida buceras	N	8	10	5	To Remain
141	1	Black Olive tree	Bucida buceras	N	22	30	25	To Remain
142	1	Oak Tree	Quercus virginiana	Y	12	20	28	To Remain
143	1	Alexander palm	Ptychosperma elegans	N	3	15	8	Relocate
144	1	Alexander palm	Ptychosperma elegans	N	3	15	8	Relocate
145	1	Alexander palm	Ptychosperma elegans	N	3	15	8	Relocate
146	1	Alexander palm	Ptychosperma elegans	N	3	15	8	Relocate
147	1	Alexander palm	Ptychosperma elegans	N	3	15	8	Relocate
148	1	Pygmy palm (dbl.)	Phoenix roebelenii	N	3	10	8	50 Demo
149	1	Pygmy palm (tpl.)	Phoenix roebelenii	N	3	10	8	50 Demo
150	1	Pygmy palm (dbl.)	Phoenix roebelenii	N	3	10	8	50 Demo
1								



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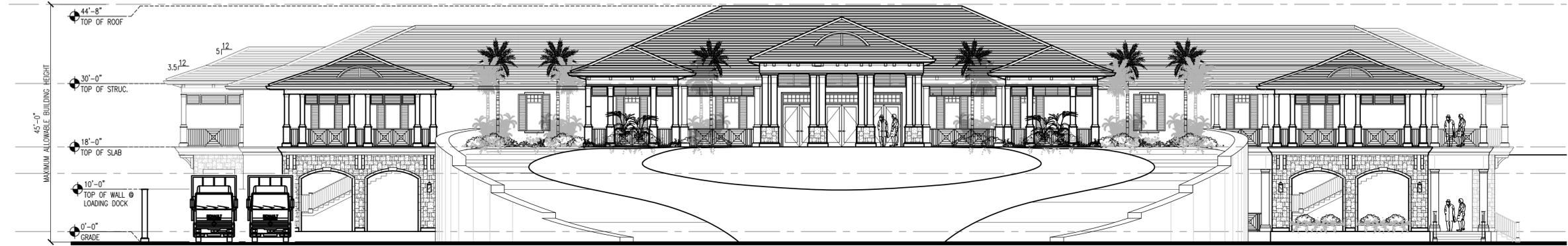
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NORTH CLUBHOUSE ELEVATION

SCALE : 3/32" = 1'-0"

1



NORTH CLUBHOUSE ELEVATION (LOWER LEVEL CART BARN IN SECTION)

SCALE : 3/32" = 1'-0"

2



SOUTH ELEVATION

SCALE : 3/32" = 1'-0"

3

Drawing Name: F:\2015\15-027(A) Riviera Country Club SD-CA\01_DRAWINGS\CAD\A_CUBHOUSE\PL_PROJECT NAME\Sheets\15-027-A-6 ELEVATIONS (CLUBHOUSE).dwg, Last Modified: Mar 21, 2016 - 3:46pm, Plotted on: Mar 21, 2016 - 5:06pm by icompos



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1155 BLUE ROAD
CORAL GABLES, FL 33146

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Sheet Title:
ELEVATIONS
(CLUBHOUSE)

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Sheet No.

A-7

Of:



EAST ELEVATION

SCALE : 3/32" = 1'-0"

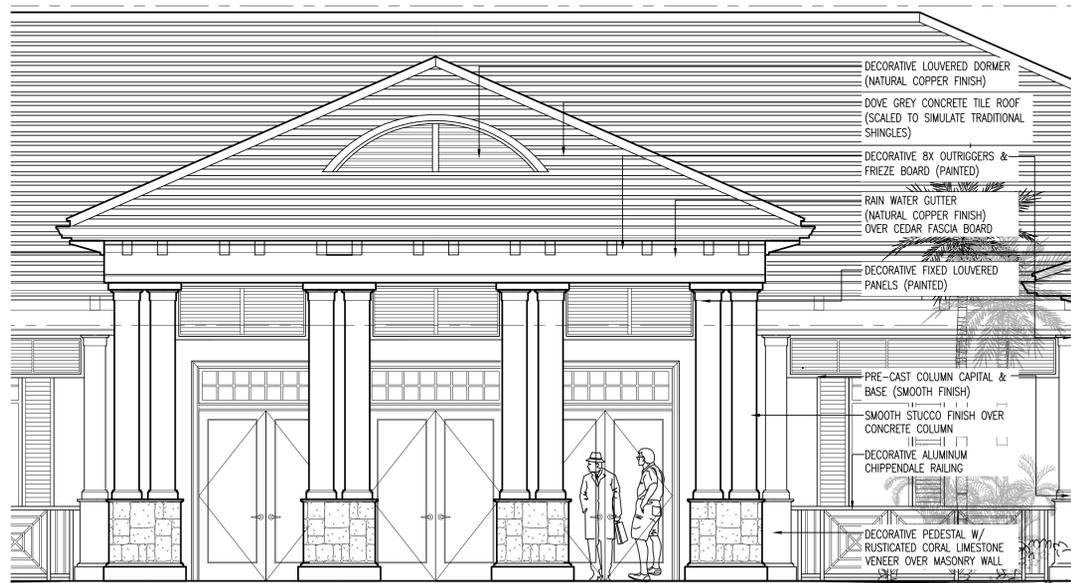
1



WEST ELEVATION

SCALE : 3/32" = 1'-0"

2



PARTIAL ENLARGED ELEVATION

SCALE : 1/4" = 1'-0"

3



PARTIAL ENLARGED ELEVATION

SCALE : 1/4" = 1'-0"

4

Drawing Name: F:\2015\15-027\15-027\15-027\15-027-01-DRAWINGS\CAD\A-CLUBHOUSE\FH- ELEVATIONS (CLUBHOUSE).dwg, Last Modified: Jun 28, 2016 - 4:21pm, Plotted on: Mar 21, 2016 - 5:06pm by icompass



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Sheet Title:
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(FITNESS)

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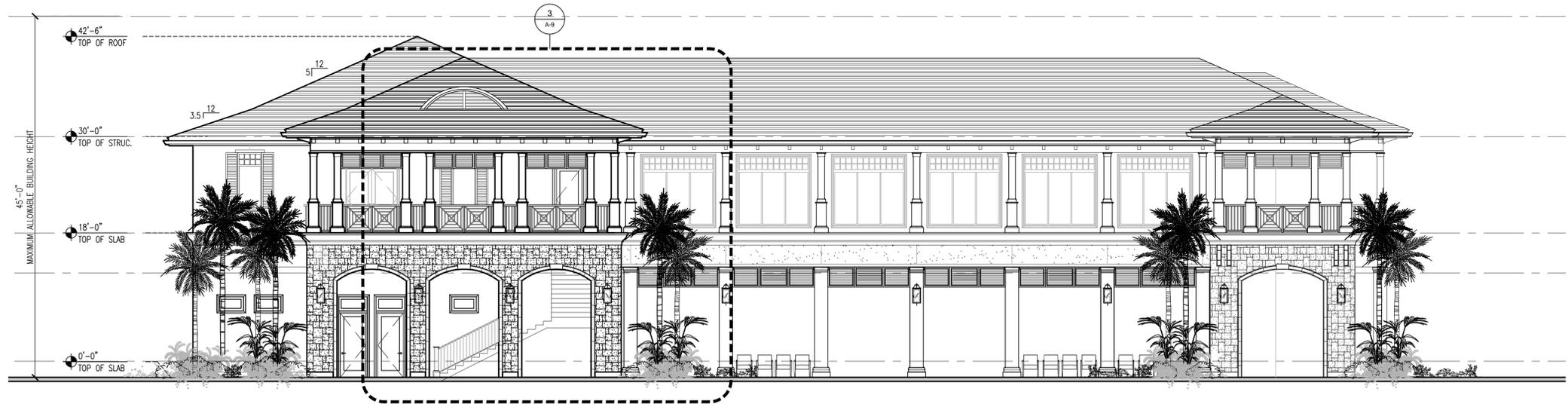
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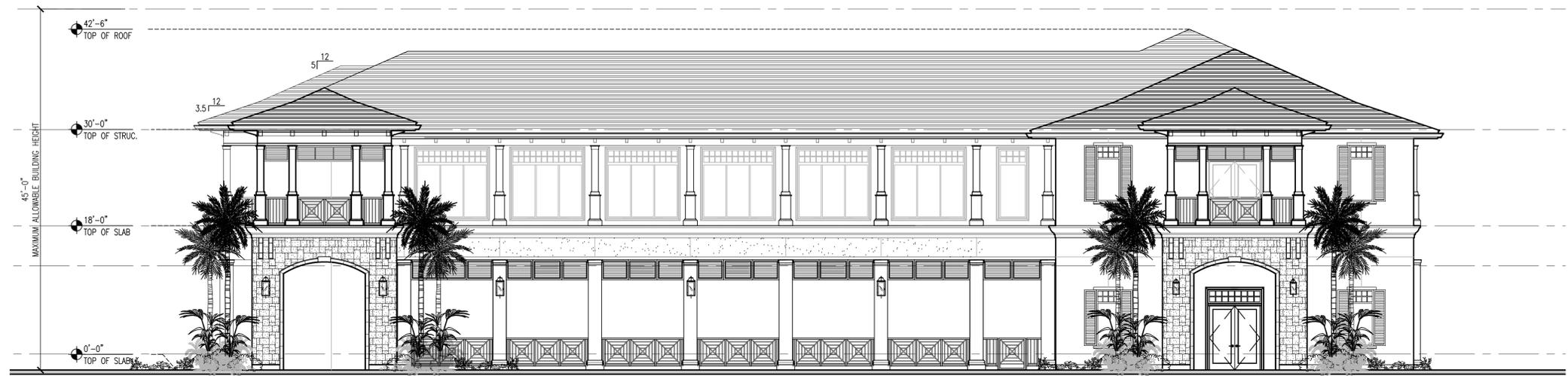
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SOUTH FITNESS ELEVATION

SCALE : 1/8" = 1'-0"

1



NORTH FITNESS ELEVATION

SCALE : 1/8" = 1'-0"

2

Drawing Name: F:\2015\15-027(A) Riviera Country Club SD-CA\01_DRAWINGS\CAD\A_CUBHOUSE\FH PROJECT NAME\Sheets\15-027-A-9 ELEVATIONS (FITNESS).dwg, Last Modified: Feb 18, 2016 - 12:27pm, Plotted on: Mar 21, 2016 - 5:07pm by isompos



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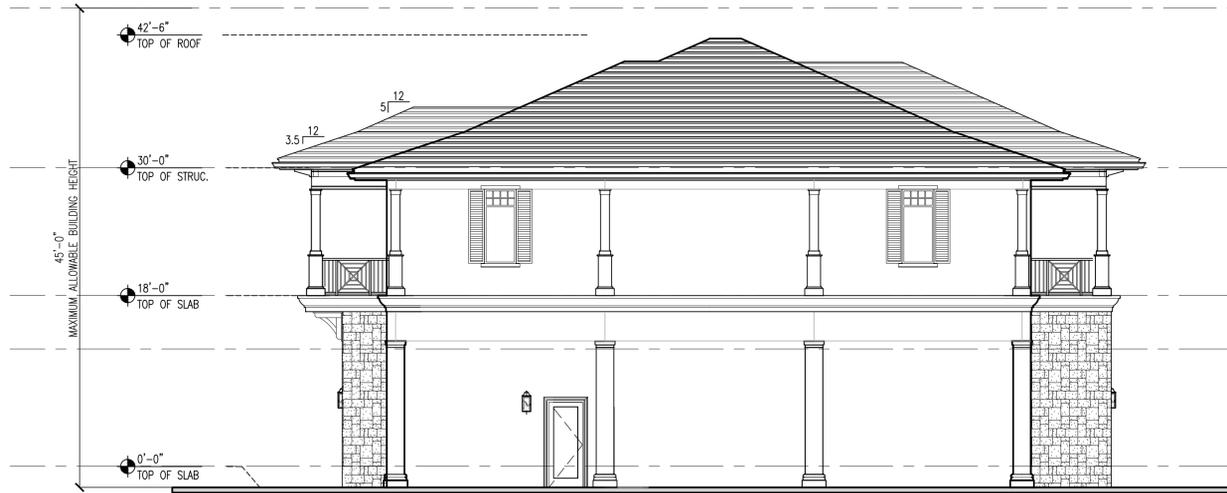
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EAST FITNESS ELEVATION

SCALE : 1/8" = 1'-0"

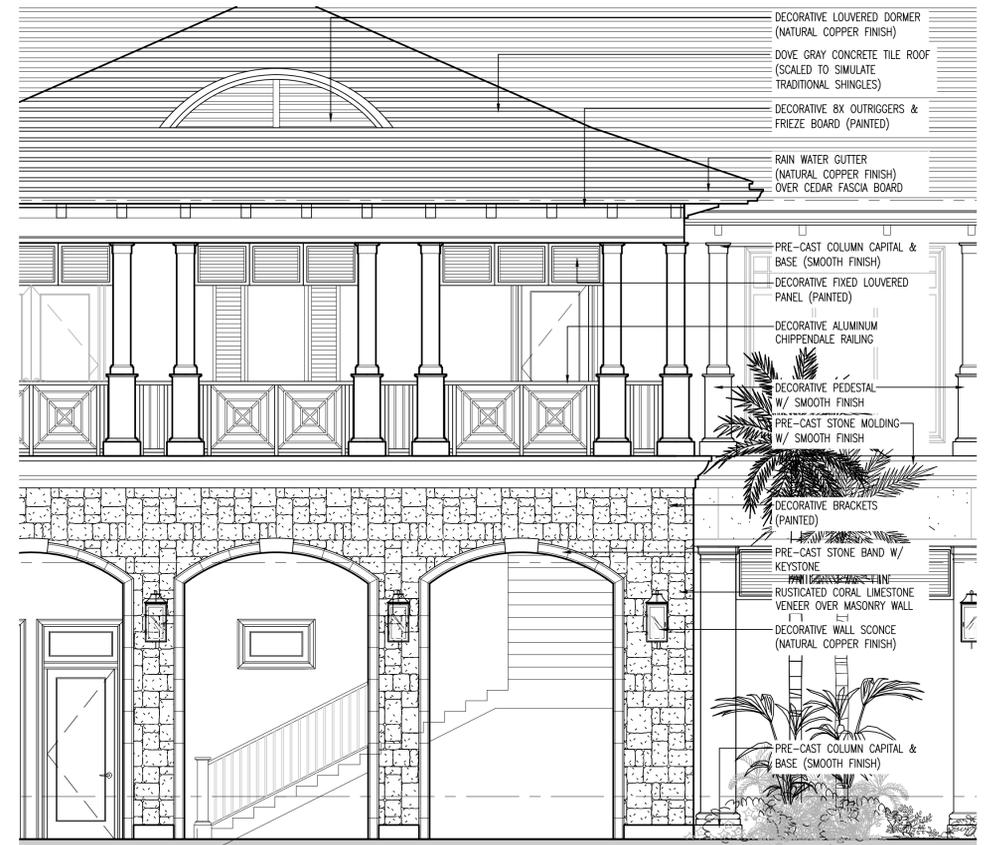
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WEST FITNESS ELEVATION

SCALE : 1/8" = 1'-0"

2

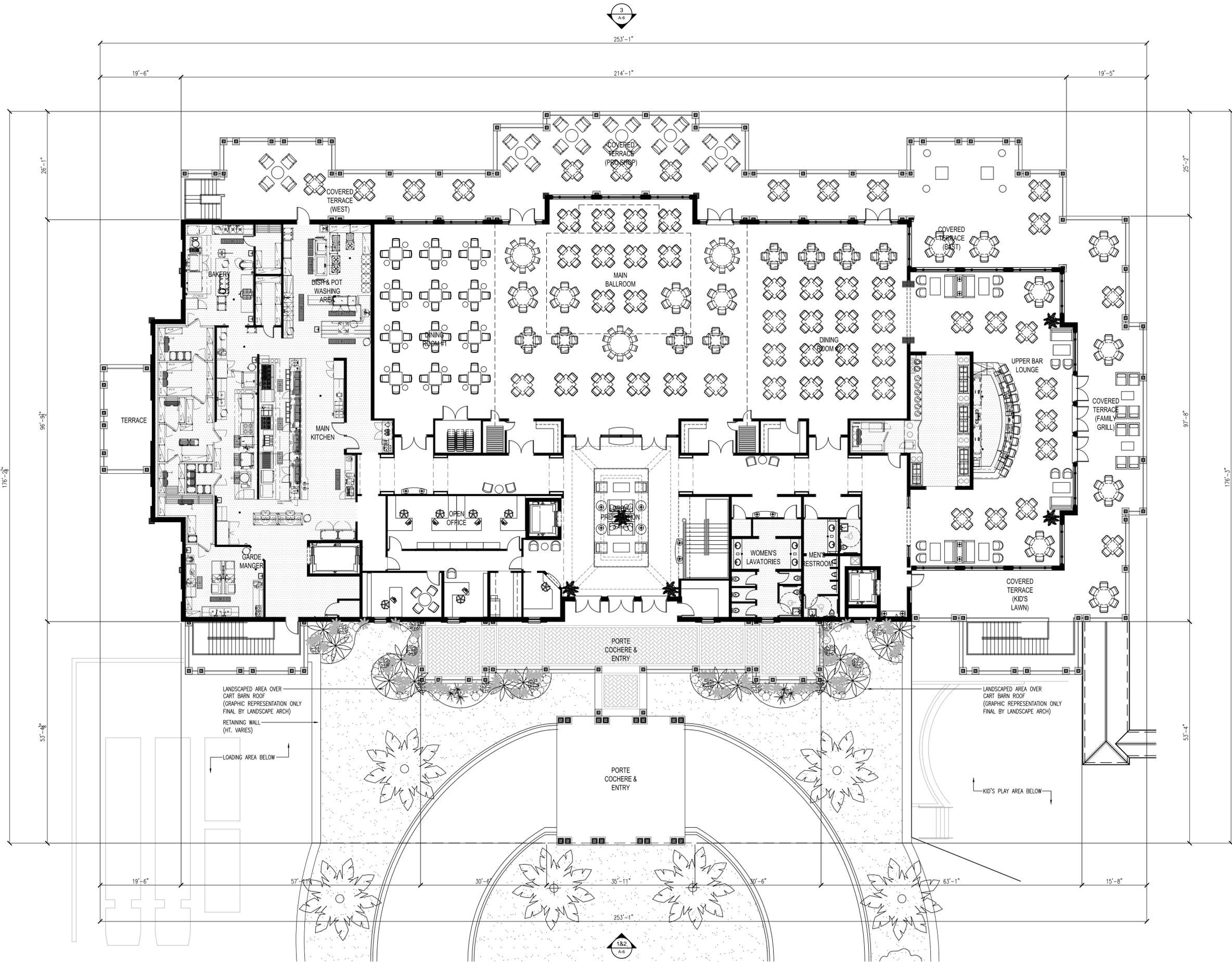


PARTIAL ENLARGED ELEVATION

SCALE : 1/4" = 1'-0"

2

Drawing Name: F:\2015\15-027\A) Riviera Country Club_S2-CA\01_DRAWINGS\200\VA_CUBHOUSE\PHI_PROJECT NAME\CUBHOUSE\PHI_OVERALL SECOND FLOOR PLAN (CLUBHOUSE).dwg, Last Modified: Mar 21, 2016 - 3:48pm, Plotted on: Mar 21, 2016 - 5:03pm by icompos



OVERALL UPPER LEVEL FLOOR PLAN (CLUBHOUSE)

SCALE : 3/32" = 1'-0"



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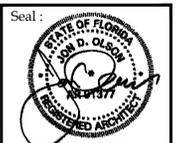
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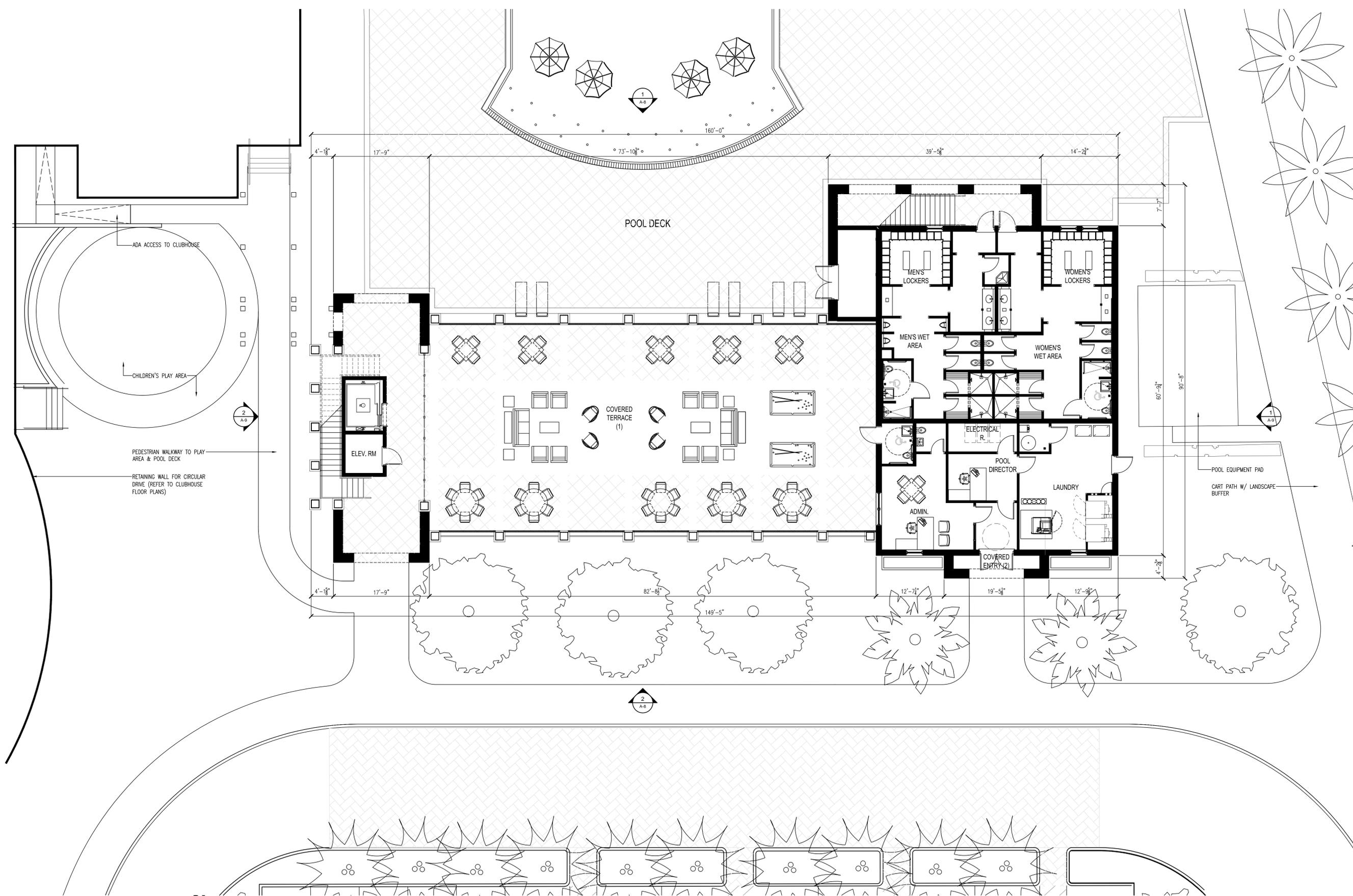
Sheet Title:
OVERALL UPPER FLOOR PLAN (CLUBHOUSE)

Revisions:		
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OVERALL LOWER LEVEL FLOOR PLAN (FITNESS ENTER)

SCALE : 1/8" = 1'-0"



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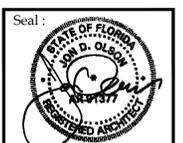
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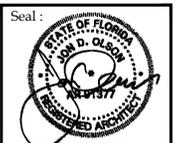
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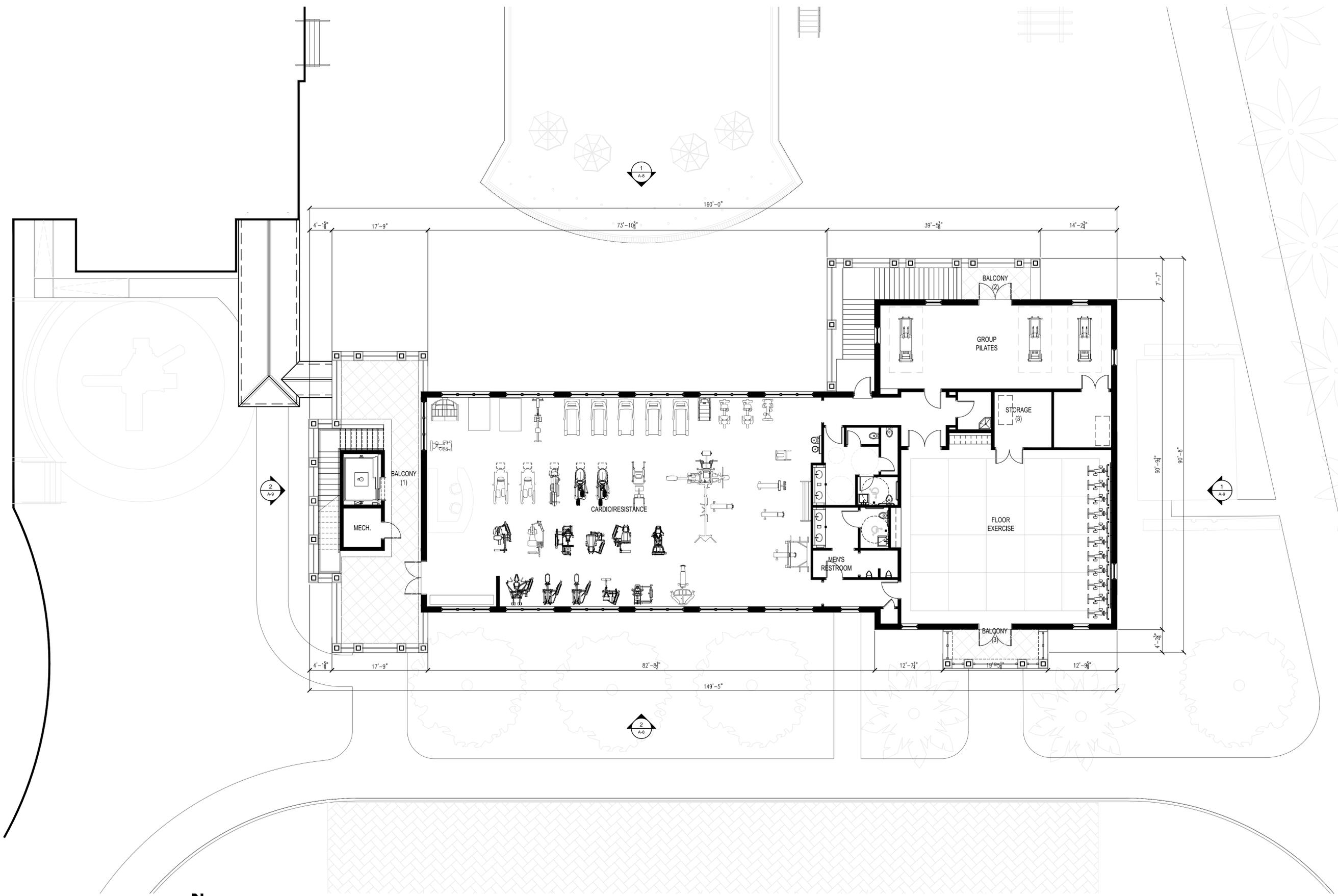
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OVERALL FIRST LEVEL FLOOR PLAN (FITNESS CENTER)

SCALE : 1/8" = 1'-0"



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ELECTRICAL NOTES

- THE CONTRACT DOCUMENTS CONSIST OF DRAWINGS, SPECIFICATIONS AND DESIGN INFORMATION PREPARED BY MULTIPLE DISCIPLINES AND MUST BE USED AS A WHOLE AND IN COORDINATION WITH EACH OTHER. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY APPARENT DISCREPANCIES OR OMISSIONS OF INFORMATION NOT SHOWN ON THE ELECTRICAL DRAWINGS. SHOP DRAWINGS SHALL BE PROVIDED WHERE NECESSARY FOR COORDINATION. THE CONTRACTOR IS RESPONSIBLE FOR CORRECTING ERRORS RESULTING FROM LACK OF COORDINATION OF DOCUMENTS.
- REFER TO THE ARCHITECTURAL DOCUMENTS FOR ALL APPLICABLE CODES. THE WORK SHALL BE IN ACCORDANCE WITH THE 2011 NATIONAL ELECTRICAL CODE (NFPA 70), FLORIDA BUILDING CODE 5th EDITION (2014), 2010 NFPA 72, FLORIDA FIRE PREVENTION CODE 5th EDITION, FAC, AND ANY OTHER LOCAL JURISDICTIONAL REQUIREMENTS. IN ADDITION, ANY BASE BUILDING OR TENANT GENERAL CONDITIONS SHALL GOVERN ACCEPTABLE MATERIALS AND WORK.
- THE CONTRACTOR SHALL BRING ANY CONFLICTS OR DISCREPANCIES TO THE ATTENTION OF THE ENGINEER IN WRITING PRIOR TO PROCEEDING WITH WORK.
- THE CONTRACTOR SHALL FIELD VISIT THE SITE PRIOR TO BID TO FAMILIARIZE HIMSELF WITH THE SCOPE OF WORK.
- ALL WORK SHALL BE DONE IN A FIRST CLASS WORKMANLIKE MANNER BY A LICENSED ELECTRICAL CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING A SAFE, CLEAN, AND UNDISRUPTIVE JOB SITE THAT DOES NOT IMPEDE EGRESS PATHS OR OTHER TENANTS. DISRUPTIONS TO POWER AFFECTING OTHER TENANTS OR AREAS OUTSIDE THE SCOPE OF WORK SHALL BE COORDINATED WITH THE OWNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CUTTING AND PATCHING OF HIS WORK. WHEN THE WORK IS COMPLETE, ALL ELECTRICAL DEVICES SHALL BE VACUUMED CLEAN. THE FINAL PRODUCT SHALL BE A FULLY FUNCTIONAL, SYSTEM MEETING THE INTENT OF THE DRAWINGS/DOCUMENTS. WORKMANSHIP AND ALL MATERIALS AND EQUIPMENT SHALL BE GUARANTEED FOR A MINIMUM OF ONE YEAR IN WRITING COMMENCING UPON ACCEPTANCE OF INSTALLATION BY OWNER.
- WITHIN 30 DAYS AFTER THE DATE OF THE SYSTEM ACCEPTANCE, RECORD DRAWINGS OF THE ACTUAL INSTALLATION SHALL BE PROVIDED TO THE BUILDING OWNER, INCLUDING A SINGLE-LINE DIAGRAM OF THE BUILDING ELECTRICAL DISTRIBUTION SYSTEM AND FLOOR PLANS INDICATING LOCATION AND AREA SERVED FOR ALL DISTRIBUTION. ADDITIONALLY, AN OPERATING MANUAL AND MAINTENANCE MANUAL SHALL BE PROVIDED TO THE BUILDING OWNER INCLUDING THE FOLLOWING: SUBMITTAL DATA STATING EQUIPMENT RATING AND SELECTED OPTIONS FOR EACH REQUISITE EQUIPMENT; OPERATING MANUALS AND MAINTENANCE MANUALS AND IDENTIFIED ROUTE MAINTENANCE ACTIONS, AND NAMES AND ADDRESSES OF AT LEAST ONE QUALIFIED SERVICE AGENCY.
- UNLESS PROVIDED WITH DIMENSIONS OR NOTED OTHERWISE, ELECTRICAL PLANS ARE STRICTLY DIAGRAMMATIC ONLY. REFER TO THE ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS, MOUNTING HEIGHTS, ETC. EFFORT HAS BEEN MADE TO PROPERLY ACCOUNT FOR ALL SPACE REQUIREMENTS, CLEARANCES, ETC. BUT SITE CONDITIONS AND PRODUCTS SELECTED MAY VARY AND IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN PROPER ARRANGEMENTS AND CLEARANCES. DRAWINGS SHALL NOT BE SCALED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS, PAYING ALL ASSOCIATED FEES, AND DOCUMENTING WORK ASSOCIATED WITH THIS SCOPE OF WORK. WHEN THE WORK IS COMPLETE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED CERTIFICATES OF INSPECTION.
- UNLESS NOTED OTHERWISE, ALL EXISTING ELECTRICAL DEVICES INSTALLED UNDER PREVIOUS CONTRACTS SHALL REMAIN. CONTROLS AND RELOCATE EXISTING DEVICES INTO NEW TENANT SPACE AND MOUNT TO PARTITIONS, CEILING, OR FINISHES AS REQUIRED.
- THE CONTRACTOR IS EXPECTED TO HAVE A FULL FUNCTIONAL KNOWLEDGE OF ELECTRICAL SYSTEMS AND WHETHER INDICATED ON THE DRAWINGS OR NOT SHALL PROVIDE THE CORRECT NUMBER OF WIRES, AT NO ADDITIONAL CHARGE, TO FACILITATE OPERATION OF ALL EQUIPMENT. QUANTITY OF WIRES WILL ONLY BE INDICATED WHERE NECESSARY FOR CLARIFICATION.
- THE INSTALLATION SHALL BE IN COMPLIANCE WITH THE AMERICAN WITH DISABILITIES ACT (ADA), UNLESS INSTALLED FOR SPECIFIC USES EXEMPT FROM ADA OR IN AREAS NOT NORMALLY ACCESSED BY BUILDING OCCUPANTS.
- THE ELECTRICAL CONTRACTOR SHALL REFER TO THE MECHANICAL AND PLUMBING DRAWINGS FOR EXACT LOCATIONS OF EQUIPMENT. PRIOR TO INSTALLATION OF ELECTRICAL EQUIPMENT, MECHANICAL & PLUMBING EQUIPMENT, THE ELECTRICAL CONTRACTOR SHALL CONFIRM THE EQUIPMENT BEING ORDERED BY THE HVAC OR PLUMBING CONTRACTORS AND PROVIDE WIRING, CONDUIT, AND OVERCURRENT PROTECTION MEETING THE REQUIREMENTS AT NO ADDITIONAL COST. THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR REVIEWING AND COORDINATING WITH THE HVAC CONTRACTOR FOR PROVIDING ANY NECESSARY LINE AND LOW VOLTAGE WIRING. FINAL TERMINATION TO BE MADE BY THE HVAC CONTRACTOR. ALL BREAKERS SUPPLYING HVAC LOADS SHALL BE RATED TYPE.
- THE CONTRACTOR SHALL DETERMINE THE EXACT SCOPE OF WORK REQUIRED TO MODIFY THE EXISTING FIRE ALARM SYSTEM PRIOR TO PRICING AND BIDDING. THE BID SHALL INCLUDE ALL MODIFICATIONS NECESSARY INCLUDING DEVICES, WIRING, SOFTWARE, CALCULATIONS, ETC. WHETHER INDICATED ON THE DRAWINGS OR NOT. THIS SHALL INCLUDE WIRING REQUIRED TO INTERFERE WITH SECURITY LOCKS, WIRING REQUIRED FOR INTERCOM, ANSUL SYSTEMS, ETC. FIRE ALARM STROBES SHALL BE INSTALLED 8" A.F.F. OR 8" BELOW THE CEILING. WACHECKER IS LOWER. STROBES SHALL INCLUDE MULTIPLE VOLTAGE TAPS TO ACHIEVE HIGHER LEVELS THROUGHOUT THE SPACE. MANUAL STATIONS SHALL BE INSTALLED AT BETWEEN 42" TO 54" A.F.F. AND WITHIN 5' OF EACH CODE REQUIRED EXIT. AUDIBLE ALARMS SHALL MEET AN OUTPUT OF AT LEAST 15 DBA ABOVE THE AMBIENT NOISE LEVEL AND SHALL INCLUDE MULTIPLE VOLTAGE TAPS TO ACHIEVE HIGHER LEVELS IF NECESSARY. SMOKE DETECTORS (NEW AND EXISTING) SHALL BE COVERED AND PROTECTED DURING CONSTRUCTION. IF EMERGENCY CIRCUITS ARE AVAILABLE, ANY FIRE ALARM EQUIPMENT REQUIRING POWER SHALL BE CONNECTED TO THE EMERGENCY STANDBY SYSTEM. BATTERY CALCULATIONS SHALL BE PROVIDED TO DETERMINE IF EXTRA EQUIPMENT SHALL BE REQUIRED. THE CONTRACTOR SHALL SUBMIT A DETAILED SET OF SHOP DRAWINGS INCLUDING AN ELECTRICAL EQUIPMENT SCHEDULE, EQUIPMENT SHALL BE MANUFACTURED BY G.E., SQUARE-D, EATON CUTLER-HAMMER OR SIEMENS. INSTALL A PLASTIC LAMINATE SIGN ON EACH NEW UNIT OF ELECTRICAL EQUIPMENT WITH THE FOLLOWING INFORMATION: IDENTIFICATION NUMBER, IDENTIFICATION NUMBER CONTRACT DOCUMENTS AND/OR INDICATE SOURCE (E.G. FOR DISCONNECTS, ETC.).
- ALL EXISTING CIRCUITS INDICATED AS SPARE SHALL BE TRACED AND VERIFIED BY THE CONTRACTOR. IF A CIRCUIT IS LABELED AS SPARE OR INDICATED FOR REUSE BUT UTILIZED BY AN ADJACENT TENANT OR OCCUPIED SPACE, THE ENGINEER SHALL BE NOTIFIED AND A NEW CIRCUIT SHALL BE ASIGNED.
- ALL MATERIALS AND EQUIPMENT FURNISHED SHALL BE NEW (UNLESS NOTED OTHERWISE) AND BEAR THE U.L. LISTING FOR THEIR INTENDED USE. MATCH BUILDING STANDARDS FOR MANUFACTURER AND TYPE OF EQUIPMENT FOR LIGHTS, EAT SYSTEMS, FIRE ALARM DEVICES, WIRING DEVICES, AND ELECTRICAL DISTRIBUTION EQUIPMENT. WHERE NO BUILDING STANDARD EXISTS FOR ELECTRICAL EQUIPMENT, EQUIPMENT SHALL BE MANUFACTURED BY G.E., SQUARE-D, EATON CUTLER-HAMMER OR SIEMENS. INSTALL A PLASTIC LAMINATE SIGN ON EACH NEW UNIT OF ELECTRICAL EQUIPMENT WITH THE FOLLOWING INFORMATION: IDENTIFICATION NUMBER, IDENTIFICATION NUMBER CONTRACT DOCUMENTS AND/OR INDICATE SOURCE (E.G. FOR DISCONNECTS, ETC.).
- THE FAULT CURRENT RATING OF ALL EQUIPMENT ADDED TO THE ELECTRICAL DISTRIBUTION SHALL MEET THE AVAILABLE FAULT CURRENT. EQUIPMENT ADDED TO THE EMERGENCY SYSTEM SHALL BE SELECTIVELY COORDINATED. EQUIPMENT SHALL BE FULLY RATED UNLESS NOTED OTHERWISE.
- THE CONTRACTOR SHALL GIVE PERMISSION FOR THE A/E, ENGINEER, ARCHITECT, INSPECTOR, ETC. TO PERFORM TESTS OF THE ELECTRICAL SYSTEM AS REQUIRED.
- SWITCH OUTLETS SHALL NOT BE OBSTRUCTED BY DOORSWINGS AND OCCUPANCY SENSORS SHALL HAVE FULL VIEW OF THE INTENDED SPACE.
- SWITCH AND RECEPTACLES INDICATED IN THE SAME LOCATION SHALL BE MOUNTED UNDER A COMMON COVERPLATE UNLESS OTHERWISE NOTED.
- EVEN IF THE PLANS INDICATE, OUTLETS SHALL NOT BE INSTALLED PRECISELY BACK TO BACK ON COMMON WALLS. REFER TO THE ARCHITECTURAL DRAWINGS FOR EXACT MOUNTING METHODS AND LOCATIONS.
- JUNCTION AND PULL BOXES ARE ONLY INDICATED WHERE REQUIRED FOR LARGE SCALE COORDINATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING JUNCTION AND PULL BOXES AS REQUIRED BY THE CODE AND PER A STANDARD INSTALLATION. OUTLET BOXES SHALL BE FOUR INCH SQUARE DEEP TYPE. OUTLET BOXES FOR 120V OR HIGHER CIRCUITS SHALL INCLUDE A #12 AWG SOLID COPPER PITAIL. OUTLET BOXES LOCATED OUTDOOR OR TOGETHER TO WET CONDITIONS SHALL INCLUDE GASKETED COVERS. THE MAXIMUM GAP AROUND BOXES SHALL BE 1/8" OR SMALLER ON ALL EDGES. JUNCTION BOXES SHALL BE COLOR CODED WITH PAINT TO INDICATE THEIR USE AS FOLLOWS: NORMAL POWER - BLACK, STANDBY POWER - ORANGE, FIRE ALARM - RED, TELEPHONE DATA - YELLOW, HVAC CONTROLS - BLUE.
- CONDUCTORS SHALL BE LOOPED AROUND SCREW POSTS SO THAT ROTATION OF THE SCREW TENDS TO FURTHER WRAP THE CONNECTION. SCREW TERMINALS SHALL BE WRAPPED IN ELECTRICAL TAPE. AT LEAST 6" OF FREE CONDUCTOR SHALL BE LEFT AT EACH J-BOX, OUTLET AND SWITCH BACK-BOX, ETC FOR FUTURE SPlicing.
- THE CONTRACTOR SHALL MAINTAIN THE FIRE RATING OF ALL FIRE-RATED PARTITIONS. IF A DEVICE WILL VOID THE FIRE RATING OF A WALL, IT SHALL BE INSTALLED IN AN ALTERNATE LOCATION PER THE ARCHITECT OR ENGINEER'S DIRECTION. ALL VOIDS AROUND CONDUITS AND/OR CORE DRILLS PENETRATING FIRE RATED PARTITIONS SHALL BE FILLED WITH FIRE-RATING MATERIAL OR UL APPROVED FIRE RATING DEVICE. THE FIRE RATING OF A PARTITION SHALL NEVER BE COMPROMISED.
- THE CONTRACTOR SHALL MAINTAIN THE INSULATION RATING AND VAPOR BARRIER ON ALL PERIMETER WALLS. IF A DEVICE WILL DAMAGE OR COMPROMISE THE VAPOR BARRIER OR INSULATION, IT SHALL BE INSTALLED IN AN ALTERNATE LOCATION PER THE ARCHITECT OR ENGINEER'S DIRECTION.
- PRIOR TO PENETRATING STRUCTURE, THE CONTRACTOR SHALL X-RAY THE SLABS. CONCRETE CUTTING, CORE DRILLING, AND ANY OTHER ACTION THAT COULD AFFECT OTHER SPACES BY NOISE OR INTRUSION SHALL BE DONE AFTER HOURS. ALL SLAB STRUCTURE PENETRATIONS SHALL BE COORDINATED WITH THE STRUCTURAL ENGINEER FOR APPROVAL.
- ALL EQUIPMENT REQUIRING ACCESS SUCH AS J-BOXES, PULL BOXES, TRANSFORMERS, DRIVERS, ETC. SHALL BE INSTALLED IN ACCESSIBLE LOCATIONS. EXISTING ELECTRICAL DEVICES WHICH ARE LOCATED BEHIND INACCESSIBLE LOCATIONS DUE TO RENOVATION SHALL BE RELOCATED AND MADE ACCESSIBLE.
- CONDUITS AND/OR MATERIALS LOCATED IN ENVIRONMENTAL AIR PLUMBING SHALL BE PROPERLY LISTED FOR THE APPLICATION. INTERIOR CONDUIT RACEWAYS MAY BE PVC OR MC CABLE IF ALLOWED BY THE A/E. EXPOSED RACEWAYS, INCLUDING RACEWAYS EXPOSED IN THE BACK OF HOUSE SHALL BE GALVANIZED STEEL, OR ALUMINUM DUCT. MOTOR CONDUITS SHALL BE RATED FOR INTERIOR APPLICATIONS AND LISTED TIGHT FIT FOR EXTERIOR APPLICATIONS. ALL OTHER EXTERIOR CONDUITS SHALL BE GALVANIZED STEEL, ALUMINUM DUCT OR RIGID STEEL IF EXPOSED TO STRIKING. EXTERIOR CONDUITS SHALL UTILIZE COMPRESSION CONNECTORS. ACCESSIBLE SHALL NOT TERMINATE AT PANELBOARDS. A GUTTER OUTSIDE THE ELECTRICAL CLOSET SHALL BE PROVIDED WITH CONDUIT FROM THE GUTTER TO THE PANELBOARD.

ELECTRICAL NOTES

- CABLE AND CONDUIT ROUTING SHALL BE DONE IN A NEAT AND ORDERLY FASHION. LINES SHALL BE RUN PARALLEL TO ALL BUILDING FEATURES, AND SHALL BE GROUPED TOGETHER TO CREATE AN AESTHETIC APPEARANCE AND EASY TO FOLLOW ROUTE. CABLES SHALL BE PERMITTED TO BE BUNDLED BUT SHALL NOT EXCEED TEN IN QUANTITY. ROUTING SHALL BE COORDINATED WITH OTHER TRADES TO AVOID CONFLICT.
- CONDUITS SHALL BE RIGID, Y SUPPORTED TO THE BUILDING STRUCTURE. AC AND MC CABLES SHALL BE SUPPORTED WITHIN 12" OF EVERY BOX, FITTING, ETC. AND SUPPORT SPACINGS SHALL NOT EXCEED 4' INTERVALS. RIGID CONDUIT SUPPORT SPACINGS SHALL NOT EXCEED 16" FOR VERTICAL RUNS AND 4'-0" FOR HORIZONTAL RUNS. HOWEVER, ALL SUPPORT SPACINGS FOR ALL CONDUIT TYPES SHALL BE IN ACCORDANCE WITH THE NEC REGARDLESS OF WHAT IS STATED HERE. CONDUIT AND FITTINGS SHALL BE STEEL WITH COMPRESSION OR SET STEEL SCREW CONNECTIONS. THERE SHALL NOT BE MORE THAN THE EQUIVALENT OF FOUR QUARTER BENDS (90 DEGREES TOTAL) BETWEEN FULL POINTS FOR POWER (120V OR HIGHER) CIRCUITS AND NOT MORE THAN THE EQUIVALENT OF TWO QUARTER BENDS (90 DEGREES TOTAL) BETWEEN FULL POINTS FOR LOW VOLTAGE (TELEPHONE, DATA, ETC) CIRCUITS. LOW VOLTAGE CONDUIT RUNS SHALL ALSO NOT EXCEED 100' BETWEEN FULL POINTS. ALL CONDUITS SHALL BE TERMINATED WITH INSULATED THROAT CONNECTORS FOR CONDUITS 1" AND SMALLER, AND WITH INSULATED BUSHINGS AND LOCKWASHERS FOR CONDUITS OVER 1". EMPTY CONDUIT RUNS EXCEEDING 12' SHALL BE PROVIDED WITH PULL WIRES SECURELY FASTENED AT BOTH ENDS. EXPANSION FITTINGS SHALL BE PROVIDED AT ALL BUILDING EXPANSION JOINTS OR WHERE NEEDED TO ALLOW FOR THERMAL EXPANSION.
- CONDUIT SIZES INDICATED IN PANEL SCHEDULES AND ON THE SINGLE LINE ARE BASED ON TYPE THHN IN BENT AS OTHER TYPES OF CONDUIT AND CONDUCTORS ARE PERMISSIBLE IN THIS PROJECT. THE CONTRACTOR SHALL ADJUST THE DIMENSION OF THE CONDUIT TO COMPLY WITH CHAPTER 9, TABLE 1 IN THE NEC. ADJUSTMENTS TO THIS CONDUIT SIZE SHALL BE PART OF THE BID AND SHALL BE AT NO ADDITIONAL EXPENSE TO THE OWNER.
- PROVIDE A 3/4" CONDUIT WITH PULLSTRUNG FOR ALL TELEPHONE AND A 1" CONDUIT WITH PULLSTRUNG FOR ALL DATA OUTLETS LOCATED IN INSULATED AND LOW HEIGHT WALLS, TERMINATED ABOVE THE ACCESSIBLE CEILING. GROMMETS SHALL BE PROVIDED AT THE END OF THE CONDUIT AT THE CEILING SPACE. OUTLETS LOCATED IN NON-INSULATED WALLS SHALL REQUIRE PULLSTRUNG ONLY.
- WIRE SIZES INDICATED ARE BASED UPON DIRECT ORTHOGONAL PATHS TO THE PANELBOARD. FEEDERS ARE SIZED FOR A MAXIMUM OF 2% VOLTAGE DROP, AND BRANCH CIRCUITS ARE DESIGNED FOR A MAXIMUM OF 3% VOLTAGE DROP. IF FIELD CONDITIONS DO NOT ALLOW THESE PATHS OR IF THE CONTRACTOR RUNS ADDITIONAL LENGTHS, THEY SHALL BE RESPONSIBLE FOR INCREASING WIRE SIZE TO ACCOMMODATE THE ADDITIONAL LENGTH. ADDITIONAL COST, 20 AMP, 120 VOLT HOMERUNS EXCEEDING 57' SHALL BE A MINIMUM OF #10 AWG, 20 AMP, 277 VOLT HOMERUNS EXCEEDING 131' SHALL BE A MINIMUM OF #10 AWG. WIRING SMALLER THAN #12 AWG SHALL NOT BE USED FOR ANY INSTALLATIONS.
- THE CONTRACTOR SHALL CONDUIT PANELBOARDS EXACTLY AS INDICATED IN THE PANEL SCHEDULES. IF ANY DEVIATIONS ARE NECESSARY, THE ENGINEER SHALL BE NOTIFIED. TYPED DIRECTORY CARDS SHALL BE PROVIDED AT EACH PANELBOARD INDICATING LOAD SERVED AND FINAL ROOM NUMBERS PER THE NEC. WHEN EXISTING DIRECTORIES ARE PROVIDED, THE CONTRACTOR SHALL UPDATE THE INFORMATION WORK. EXISTING LOAD INFORMATION SHALL BE DIRECTLY TRANSFERRED TO THE NEW DIRECTORY CARDS.
- NEUTRAL CONDUCTORS SHALL ONLY BE SHARED WHEN INDICATED ON THE DRAWINGS. WHERE NEUTRALS ARE INDICATED TO BE SHARED, THE NEUTRAL SHALL BE A MINIMUM OF #10 AWG.
- THE CONTRACTOR SHALL REMOVE ALL UNUSED AND ABANDONED WIRING AND CABLING FROM THE CEILING PLenum THAT IS NOT LABELED FOR FUTURE USE, AS REQUIRED BY THE NEC. THIS SHALL INCLUDE BUT IS NOT LIMITED TO THE FOLLOWING: WIRING, SECURITY CONTROLS, DATA, TELEPHONE, ETC.
- ALL BRANCH CIRCUIT CONDUCTORS AND FEEDER CIRCUITS 100A OR SMALLER SHALL BE COPPER. FEEDER CIRCUITS SERVING LOADS LARGER THAN 100A MAY BE EITHER COPPER OR ALUMINUM, HOWEVER THE DESIGN IS BASED AROUND COPPER AND THE CONTRACTOR WILL BE RESPONSIBLE FOR ACCOUNTING FOR INCREASED WIRE SIZE, CONDUIT SIZE, AND/OR OTHER REQUIREMENTS. THE LARGER CONDUIT IF ALUMINUM IS USED, HOWEVER, BRANCH CIRCUITS FEEDING MOTORS SHALL ALWAYS BE COPPER REGARDLESS. CONDUCTORS #10 AWG AND SMALLER SHALL BE SOLID, AND CONDUCTORS #8 AWG AND LARGER SHALL BE STRANDED. CONDUCTORS SHALL BE CODE TYPE THHN, THHW, THWN, OR XHHW UNLESS OTHERWISE REQUIRED BY THE NEC. CONDUITS SHALL BE MARKED WITH INSULATION CODE, VOLTAGE RATING, AWG SIZE, AND MANUFACTURER AND INCLUDE A CONTINUOUS COLOR CODED FROM PANELBOARD TO THE END OF THE CONDUIT. WHERE CONTINUOUS MARKINGS ARE NOT AVAILABLE, USE COLOR CODED TAPE AT EACH TERMINATION. #8 AWG AND SMALLER CONDUCTORS SHALL BE SPLICED WITH SPRING CONNECTORS. #8 AWG AND LARGER SHALL BE SPLICED WITH BARREL CONNECTORS REGARDING COMPRESSION ON EACH END.
- NEW LIGHTS AND LAMPS SHALL MATCH EXISTING BUILDING STANDARD, INCLUDING LAMP TEMPERATURE COLOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONFIRMING BUILDING STANDARDS PRIOR TO PURCHASE. THE CONTRACTOR SHALL PROVIDE THE PROPER FIXTURE TYPE FOR THE CEILING OR WALL. TYPE WHICH THE FIXTURE IS TO BE INSTALLED IN, INCLUDING TRIM, MOUNTING ACCESSORIES, ETC. REGARDLESS OF THE MODEL NUMBER IN THE LIGHT FIXTURE SCHEDULE. THE CORRECT MOUNTING TYPE SHALL BE PROVIDED. THE CONTRACTOR SHALL REFER TO INTERIOR DESIGNER, ARCHITECTURAL, LANDSCAPE, OR OTHER CONSULTANT PLANS FOR ADDITIONAL INFORMATION AND REQUIREMENTS. WHERE THERE IS A DISCREPANCY BETWEEN ELECTRICAL PLANS AND OTHER CONSULTANT PLANS, THE OTHER CONSULTANT PLANS SHALL TAKE PRECEDENCE EXCEPT FOR VOLTAGE AND WATTAGE OF FIXTURES. FIXTURE TYPE IN THE LIGHT FIXTURE SCHEDULE SHALL TAKE PRECEDENCE OVER THE TYPE OF FIXTURE. TYPE WHICH THE FIXTURE IS TO BE INSTALLED IN, INCLUDING TRIM, MOUNTING ACCESSORIES, ETC. 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T. 561.626.9794
F. 561.626.9719



Riviera
Country Club
RIVIERA
COUNTRY
CLUB

CLUB HOUSE

1155 BLUE ROAD
CORAL GABLES, FL 33146

PROP. CONST. TYPE
III (FULLY SPRINKLED)

Seal:

AOR: ARCHITECT NAME
Licence ARCHITECT LICENSE

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Sheet Title:

ELECTRICAL SITE
LIGHTING PLAN

Revisions:

#	Date	Rev. Description

Comm. Date:

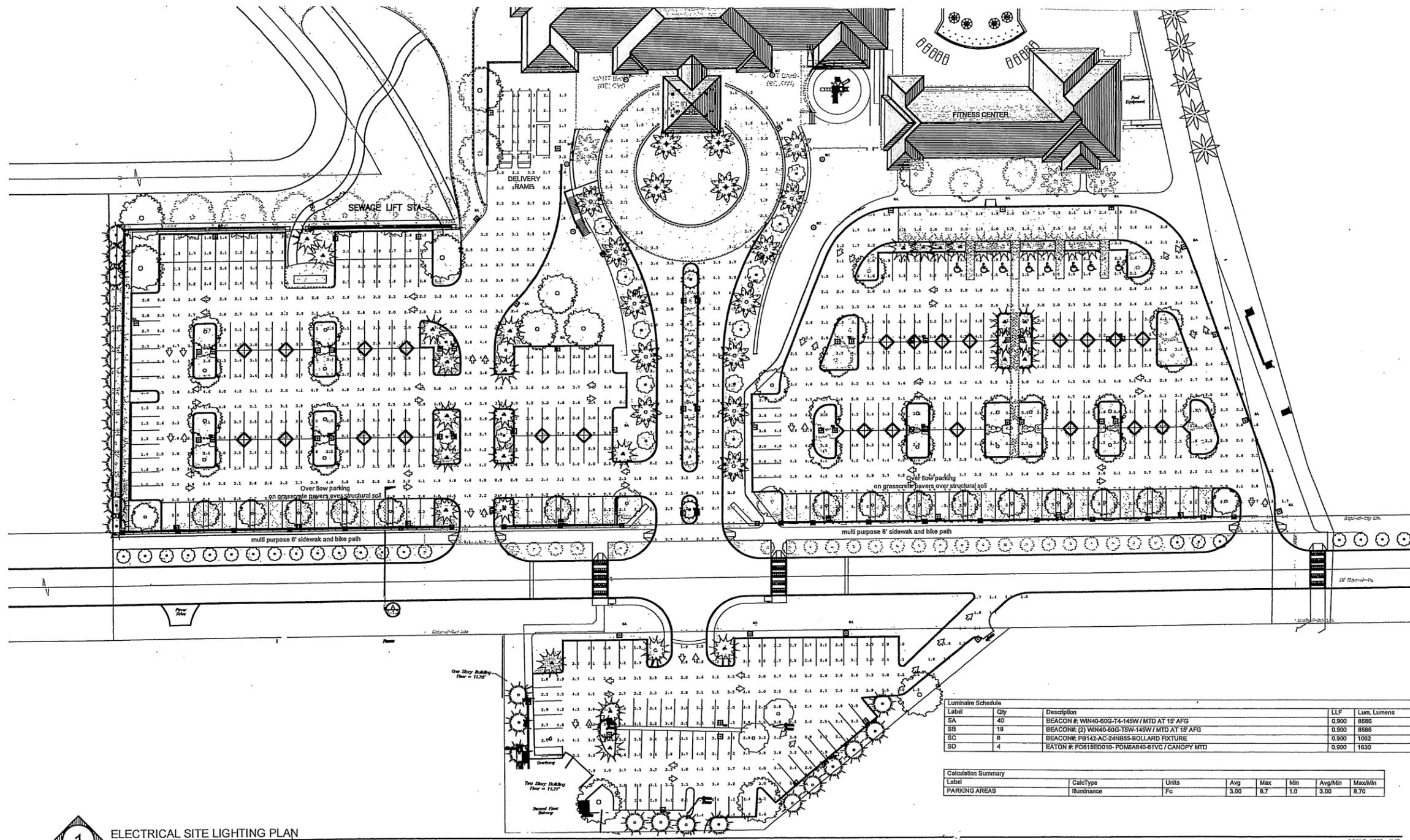
15-027

Drawn by: P+L
Checked by: XXX

Sheet No. A

E1.1

Of:



Luminaire Schedule

Label	Qty	Description	LLF	Lum. Lumens
SA	40	BEACON # WIN40-60G-T4-145W / MTD AT 15' AFG	0.900	8656
SB	18	BEACON# (2) WIN40-60G-T5W-145W / MTD AT 15' AFG	0.900	8656
SC	8	BEACON# PB142-AC-24NB55-BOLLARD FIXTURE	0.900	1062
SD	4	EATON # PD81SED010- PDM5840-61VC / CANOPY MTD	0.900	1630

Calculation Summary

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
PARKING AREAS	Illuminance	Fc	3.00	8.7	1.0	3.00	8.70

1 ELECTRICAL SITE LIGHTING PLAN

PANEL HS
3P-100A M.C.B.
277/480 VOLT
100 AMP BUS
A.L.C.

COND	WIRE SIZE	LOAD DESCRIPTION	KVA A @	KVA B @	CB	OKT NO.	COND	WIRE SIZE	LOAD DESCRIPTION	KVA A @	KVA B @	CB	OKT NO.	COND	WIRE SIZE	LOAD DESCRIPTION	KVA A @	KVA B @	CB	OKT NO.
TOTAL	10.61																			
3/4"	2#8	SITE LTG.	2.43	2.19		1	2													
3/4"	2#10					3	4													
3/4"	2#10					5	6													
3/4"	2#8					7	8													
3/4"	2#12					9	10													
		SPARE				11	12													
						13	14													
						15	16													
						17	18													
						19	20													
						21	22													
						23	24													
						25	26													
						27	28													
						29	30													

PANEL LS
3P-60A M.C.B.
120/208 VOLT
60 AMP BUS
A.L.C.

COND	WIRE SIZE	LOAD DESCRIPTION	KVA A @	KVA B @	CB	OKT NO.	COND	WIRE SIZE	LOAD DESCRIPTION	KVA A @	KVA B @	CB	OKT NO.	COND	WIRE SIZE	LOAD DESCRIPTION	KVA A @	KVA B @	CB	OKT NO.
TOTAL	0.27																			
1/2"	2#12	FRONT SITE LTG.	0.27			1	2													
		SPARE				3	4													
						5	6													
						7	8													
						9	10													
						11	12													
						13	14													
						15	16													
						17	18													
						19	20													
						21	22													
						23	24													
						25	26													
						27	28													
						29	30													

Riviera Country Club Site
LIGHTING FIXTURE SCHEDULE
CATALOG SPECIFICATIONS

TYPE	DESCRIPTION	WFE	WFE	VOLTS	LAMPS	WATTAGE	MOUNTING
SA	LED DECORATIVE SITE HEAD	BEACON	WIN40-60G-T4-145W-D04-EDDXX-PT-576-BST	120V	LED	134W	POST TOP
SB	TRIM ASSEMBLY LED DECORATIVE SITE HEAD	BEACON	WIN40-60G-T5W-145W-D04-EDDXX-PT-576-BST / AAS-5-4-T-BST	120V	D LED	134W	POST TOP
SC	DECORATIVE BOLLARD	LOSMAN	CLB-1041-120V-W40-02V-01	120V	LED GREEN CREATIVEMOUNT3	20W	GROUND
SD	FOURTE CONCRETE LIGHT	PORTFOLIO	LDRA1000WITE-438-LAYHVN-LED-PT	120V	LED	37.5W	RECESSED

Ⓢ ELECTRICAL KEYNOTES

1. CIRCUIT SHALL BE CONTROLLED VIA TIME CLOCK.

RGD
CONSULTING ENGINEERS

RYAN D. WARRER
FLORIDA P.E. NO. 74459
ELECTRICAL ENGINEER
CERT. OF APPROVAL
DATE: 8.5.2015

1211 INDIANTOWN RD., SUITE 104, RIVIERA, FL 33415 (407) 743-2145
This drawing was NOT MADE for any purpose which requires the original
signature and seal of the engineer under the original signature and seal are affixed.
Drawings are signed and sealed by the engineer and shall not be altered in any
manner or used for any purpose where signed and sealed drawings are required.

PROPOSED ENGINEERING IMPROVEMENTS STATEMENT

RIVIERA COUNTRY CLUB

1155 Blue Road, Coral Gables, Florida

NEW CLUBHOUSE

WGI No. 1558.03

August 5, 2015

The Riviera Country Club is proposing to construct a new clubhouse with additional parking spaces and amenities. The following is a conceptual description of the engineering improvements associated with the site plan application for the new clubhouse:

The proposed drainage improvements will be designed to accommodate the additional impervious area and stormwater runoff. New exfiltration trench will be added to the existing total to offset these impacts and will be connected to the existing system for attenuation prior to discharge. These modifications will be permitted with the City of Coral Gables and the Miami-Dade County Regulatory and Economic Resources (RER) Department Drainage Division.

The proposed water improvements will be designed to accommodate fire protection and potable services to the new clubhouse. These modifications will be permitted with the Miami-Dade County Water and Sewer Department (WASD) and RER Wastewater Division.

The proposed wastewater improvements have been designed to abandon the existing septic system and proceed with a lift station design. The proposed design has gone through and received approval from the City as an outside sewer connection with the Public Works Department. The proposed location of the lift station and additional details are forthcoming to continue permitting with the City of Coral Gables and the RER Wastewater Divisions Private Sewer Operating (PSO) Permit.

Wantman Group, Inc.

Respectfully submitted,

Adam Schildmeier, P.E.

Florida License # 69218

Wantman Group, Inc. Cert. No. 6091



The City of Coral Gables

Historical Resources Department
February 7, 2014

Joan Bounds
3241 Riviera Drive
Coral Gables, FL 33134

Re: Local Historic Designation of The Riviera Country Club, located at 1155 Blue Road and legally described as Riviera Country Club PB 46-15 TR 1 to 5 Inc. & Miami Biltmore Golf Course bounded by BLKS 90-93 96-97-11 of CGCC Sec 5 per PB 23-55 & Str of Land Shown as Miami Biltmore Golf Course of CG Riviera Section 4 per PB 25-47 & Lots 10 thru 14 & that Portion of Ave. Mendavia Lyg E & adj. to Lots 11 thru13 Closed by R-3946-52, Block 112 of Coral Gables Country Club Section 5, as recorded in Plat Book 23, Page 55 of the Public Records of Miami-Dade County, Florida.

Dear Ms. Bounds:

On June 10, 2013, our office received an application requesting local historic landmark designation for the Riviera Country Club located at 1155 Blue Road, legally described as Riviera Country Club PB 46-15 TR 1 to 5 Inc. & Miami Biltmore Golf Course bounded by BLKS 90-93 96-97-11 of CGCC Sec 5 per PB 23-55 & Str of Land Shown as Miami Biltmore Golf Course of CG Riviera Section 4 per PB 25-47 & Lots 10 thru 14 & that Portion of Ave. Mendavia Lyg E & adj. to Lots 11 thru13 Closed by R-3946-52, Block 112 of Coral Gables Country Club Section 5, as recorded in Plat Book 23, Page 55 of the Public Records of Miami-Dade County, Florida.

Article 3, Section 3-1103 of the Coral Gables Zoning Code states that "in order to qualify for designation as a local historic landmark or local historic landmark district, individual properties must have significant character, interest, or value as part of the historical, cultural, archaeological, aesthetic, or architectural heritage of the City, state or nation." Please be advised that after careful research and study of our records, along with the information provided with the application, it is the determination of this office that the property located at 1155 Blue Road does not qualify for listing in the Coral Gables Register of Historic Places.

Historical Resources Department staff finds that the architectural integrity of the clubhouse has been compromised over the years. Successive additions and alterations have had a negative impact on its architectural character. Likewise, the golf course, designed in 1925 as part of the Biltmore Country Club by noted course designer Donald Ross, has also been renovated and modified from its original configuration. While the renovations were guided by Brian Silva who is noted for his work on Ross-designed courses, the numerous

modifications have diminished the historical and cultural significance of the site and affected the integrity of the property as a whole.

Please note that pursuant to Article 3, Section 3-1104 (A) (1), "If the department's initial determination is that the property does not meet the minimum eligibility criteria for listing, the applicant may present the proposal for designation to the Historic Preservation Board."

If you should need additional information, please do not hesitate to contact the Historical Resources Department.

Sincerely,



Kara N. Kautz
Assistant Historic Preservation Officer

Enclosure

cc: File: LHD 2013-01
Mark Snure, General Manager, Riviera Country Club, 1155 Blue Road, Coral
Gables, Florida 33146
President, Board of Directors, Riviera Country Club, 1155 Blue Road, Coral Gables,
FL 33146
William Burdette, 2103 Coral Way, Suite 202, Miami, Florida 33145
Craig E. Leen, Esq., City Attorney
Bridgette Thornton, Esq., Deputy City Attorney



February 18, 2016

City of Coral Gables
405 Biltmore Way
Coral Gables, Florida 33134

Attention: Mr. Ramon Trias
Planning & Zoning Director

Reference: Riviera Country Club
City of Coral Gables, Florida

Dear Mr. Trias:

The purpose of this letter is to address the traffic impacts associated with the proposed modifications to the Riviera Country Club in the City of Coral Gables. The existing development consists of a 52,717 SF clubhouse as well as ancillary facilities including tennis courts, a swimming pool and 18-hole golf course. The existing development is a private club with private members and is not open to the public. Proposed site modifications consist of demolishing the existing clubhouse and constructing a new clubhouse and fitness center. No modifications to the golf course, tennis facilities or swimming pool are proposed. Also, the proposed modifications will not result in an increase in membership. The proposed modifications to the clubhouse are a needed modernization improvement/upgrade to better serve the existing members.

Per the Riviera Country Club bylaws, the maximum capacity allowed is set at 500 golf members and cannot be changed or increased. Per the year-to-date census as of September 2015, there are 336 golf only members and 94 golf/tennis members. The aggregate total number of golf members (430) can only increase to 500.

Traffic generation for country club developments is typically based on the golf course the clubhouse serves with the variable being number of holes. Based on the most recent International Transportation of Engineering Trip Generation Manual (9th Edition), an 18-hole golf course equates to approximately 643 trips per day. This represents the majority of the trips traveling to and from the overall clubhouse development. The clubhouse facility itself as well as the other facilities play a supportive/ancillary role to the golf course. Consequently, the traffic associated with the golf course is generally utilized to project traffic volumes for country club developments. Since no modifications to the golf

Mr. Ramon Trias
February 18, 2016 – Page 2

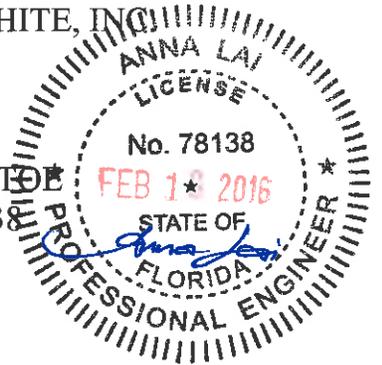
course are proposed, and no new membership is anticipated, the proposed modifications will not result in an increase in traffic over the current development.

Please contact our office if you should have any questions or if you require any additional information.

Sincerely,

SIMMONS & WHITE, INC.

Anna Lai, P.E., PTOE
FL Reg. No. 78138



Contact Information
Owner & Owner's Representatives

Owner: **Mark Snure**
Riviera Country Club
1155 Blue Road
Coral Gable, Florida 33146
(305) 661-2497

Agent/Planner: **Jennifer Morton**
JMorton Planning & Landscape Architecture
3920 RCA Boulevard, Suite 2002
Palm Beach Gardens, Florida 33410
(561) 371-9384

Architect: **Jon Olson**
Peacock + Lewis Architects & Planners
11770 US Highway One, Suite 402
North Palm Beach, Florida 33408
(561) 626-9704

Landscape Architect: **Robert Parsley**
Geomantic Designs, Inc.
6800 SW 81st Street
Miami, Florida 33143
(305) 665-9688

Civil Engineer: **Adam Schildmeier**
Wantman Group
2035 Vista Parkway
West Palm Beach, Florida 33411
(561) 713-1731

Traffic Engineer: **Kyle Duncan**
Simmons & White, Inc.
2581 Metrocentre Boulevard, Suite 3
West Palm Beach, Florida 33407
(561) 478-7848

Surveyor: **Eric Matthews**
Wantman Group
2035 Vista Parkway
West Palm Beach, Florida 33411
(561) 472-8151



**CITY OF CORAL GABLES
LOBBYIST ANNUAL REGISTRATION APPLICATION
FOR EACH PRINCIPAL REPRESENTED**

REGISTRATION #: _____

HAVE YOU BEEN RETAINED TO LOBBY ANY OF THE FOLLOWING FOR THE STATED PURPOSE?

CITY OFFICIALS: Mayor, City Commissioners, City Attorney, City Manager, City Clerk, Assistant City Manager, Special Assistant to City Manager, Heads or Directors of Departments, and their Assistant or Deputy, Police Major or Chief, Fire Major or Chief, Building and Zoning Inspectors Board, Committee Members, or any other City Official or staff.

FOR THIS PURPOSE: To encourage the approval, disapproval, adoption, repeal, passage, defeat or modification of any ordinance, resolution, action or decision of the City Commission; or any action, decision or recommendation of the City Commission, any Board, Committee or City Official.

IF THE FOREGOING APPLIES TO YOU, YOU ARE REQUIRED TO REGISTER AS A LOBBYIST:

Print Your Name Jennifer Morton
LOBBYIST

Print Your Business Name, if applicable J Morton Planning & Landscape Architecture

Business Telephone Number 561-721-4460

Business Address 3920 RCA Blvd. Suite 2002, Palm Beach Gardens, FL 33410
ADDRESS CITY, STATE ZIP CODE

Federal ID#: 47-1615252

State the extent of any business or professional relationship you have with any current member of the City Commission.

None

PRINCIPAL REPRESENTED:

NAME Mark Snure COMPANY NAME, IF APPLICABLE Riviera Country Club
BUSINESS ADDRESS 1155 Blue Rd. Coral Gables, FL TELEPHONE NO.: 305-661-2497
33146

ANNUAL REPORT: On October 1st of each year, you are required to submit to the City Clerk a signed statement under oath listing all lobbying expenditures in excess of \$25.00 for the preceding calendar year. A statement is required to be filed even if there were no expenditures.

LOBBYIST ISSUE APPLICATION: Prior to lobbying for a specific issue, you are required to fill out a Lobbyist Issue Application form with the Office of the City Clerk; stating under oath, your name, business address, the name of each principal who employed you to lobby, and the specific issue on which you wish to lobby.

NOTICE OF WITHDRAWAL: If you discontinue representing a particular client, a notice of withdrawal is required to be filed with the City Clerk.

ANNUAL LOBBYIST REGISTRATION FEE: This Registration must be on file in the Office of the City Clerk prior to The filing of an Issue Application to lobby on a specific issue, and payment of a \$150.00 Lobbyist Registration Fee is required.

I Jennifer Morton hereby swear or affirm under penalty of per-
Print Name of Lobbyist
jury that I have read the provisions of the City of Coral Gables Ordinance 2006-11, governing Lobbying and that all of the facts contained in this Registration Application are true and that I agree to pay the \$150.00 Annual Lobbyist Registration Fee.

Jennifer L. Morton
Signature of Lobbyist

STATE OF FLORIDA)
)
COUNTY OF ~~DABE PALM~~)
 BEACH

BEFORE ME personally appeared Jennifer Morton to me well known and known to me to be the person described in and who executed the foregoing instrument, and acknowledged to and before me that he/she executed said instrument for the purposes therein expressed.

WITNESS my Hand and Official Seal this 31st day of July, 2015.

Personally Known
____ Produced ID



Lauren L. McClellan
Notary Public
State of Florida

\$150.00 Fee Paid _____ Received By _____ Date: _____

Fee Waived for Not-for-Profit Organizations (documentary proof attached.) _____

For Office Use Only

Data Entry Date: _____, 20____ Entered By: _____

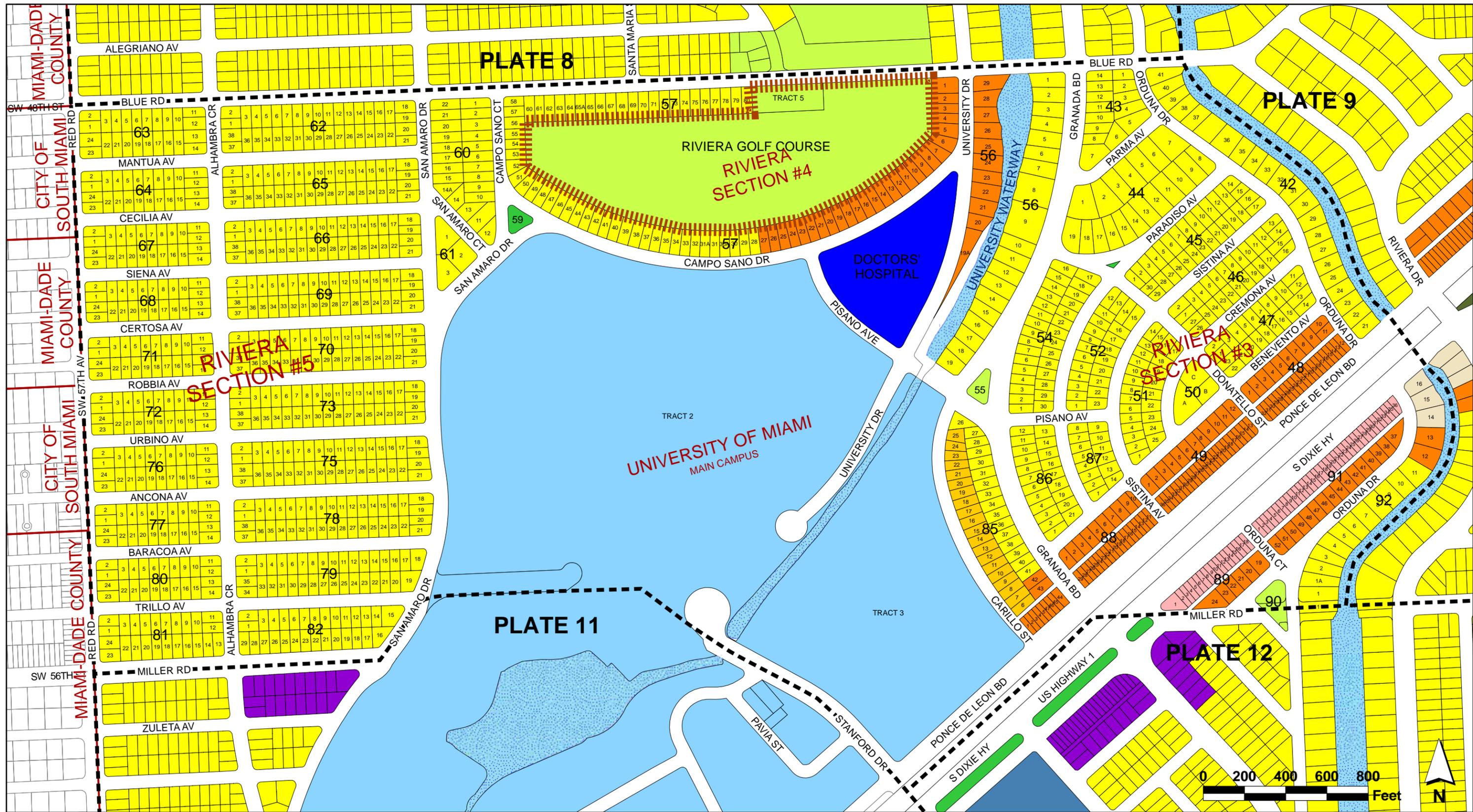


Future Land Use Map

Land Use Classifications

- | | | | | | | | |
|---|---|--|---|---|----------------------------------|------------------------------|-----------------------------------|
| Residential Single-Family Low Density (6 Units/Acre) | Residential Multi-Family Duplex Density (9 Units/Acre) | Residential Multi-Family Medium Density (70 Feet; 40 Units/Acre) | Commercial Low-Rise Intensity (50 Feet; 3.0 F.A.R.) | Commercial High-Rise Intensity (150 Feet; 3.0 F.A.R.) | University Campus Multi-Use Area | Open Space | Hospital |
| Residential Single-Family High Density (9 Units/Acre) | Residential Multi-Family Low Density (50 Feet; 20 Units/Acre) | Residential Multi-Family High Density (150 Feet; 60 Units/Acre) | Commercial Mid-Rise Intensity (70 Feet; 3.0 F.A.R.) | Industrial | Education | Conservation Areas | Religious/Institutional |
| | | | University Campus | | Parks and Recreation | Public Buildings and Grounds | Community Services and Facilities |

Plate 8 of 18
 City of Coral Gables
 Planning & Zoning Division
 July 2013



Future Land Use Map

Land Use Classifications

Residential Single-Family Low Density (6 Units/Acre)	Residential Multi-Family Duplex Density (9 Units/Acre)	Residential Multi-Family Medium Density (70 Feet; 40 Units/Acre)	Commercial Low-Rise Intensity (50 Feet; 3.0 F.A.R.)	Commercial High-Rise Intensity (150 Feet; 3.0 F.A.R.)	University Campus Multi-Use Area	Open Space	Hospital
Residential Single-Family High Density (9 Units/Acre)	Residential Multi-Family Low Density (50 Feet; 20 Units/Acre)	Residential Multi-Family High Density (150 Feet; 60 Units/Acre)	Commercial Mid-Rise Intensity (70 Feet; 3.0 F.A.R.)	Industrial	University Campus	Conservation Areas	Religious/Institutional
					Parks and Recreation	Public Buildings and Grounds	Community Services and Facilities

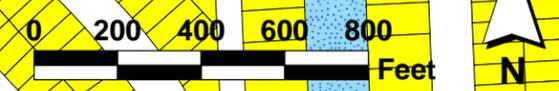


Plate 10 of 18
 City of Coral Gables
 Planning & Zoning Division
 July 2013



Zoning Map

Zoning Districts

- | | | | |
|--|---|----------------------------------|-------------------------|
| (SFR) Single-Family Residential District | (MFSA) Multi-Family Special Area District | (P) Preservation District | (I) Industrial District |
| (MF1) Multi-Family 1 Duplex District | (UCD) University Campus District | (CL) Commercial Limited District | |
| (MF2) Multi-Family 2 District | (S) Special Use District | (C) Commercial District | |

**Plate
8 of 18**

City of Coral Gables
Planning & Zoning Division
July 2013



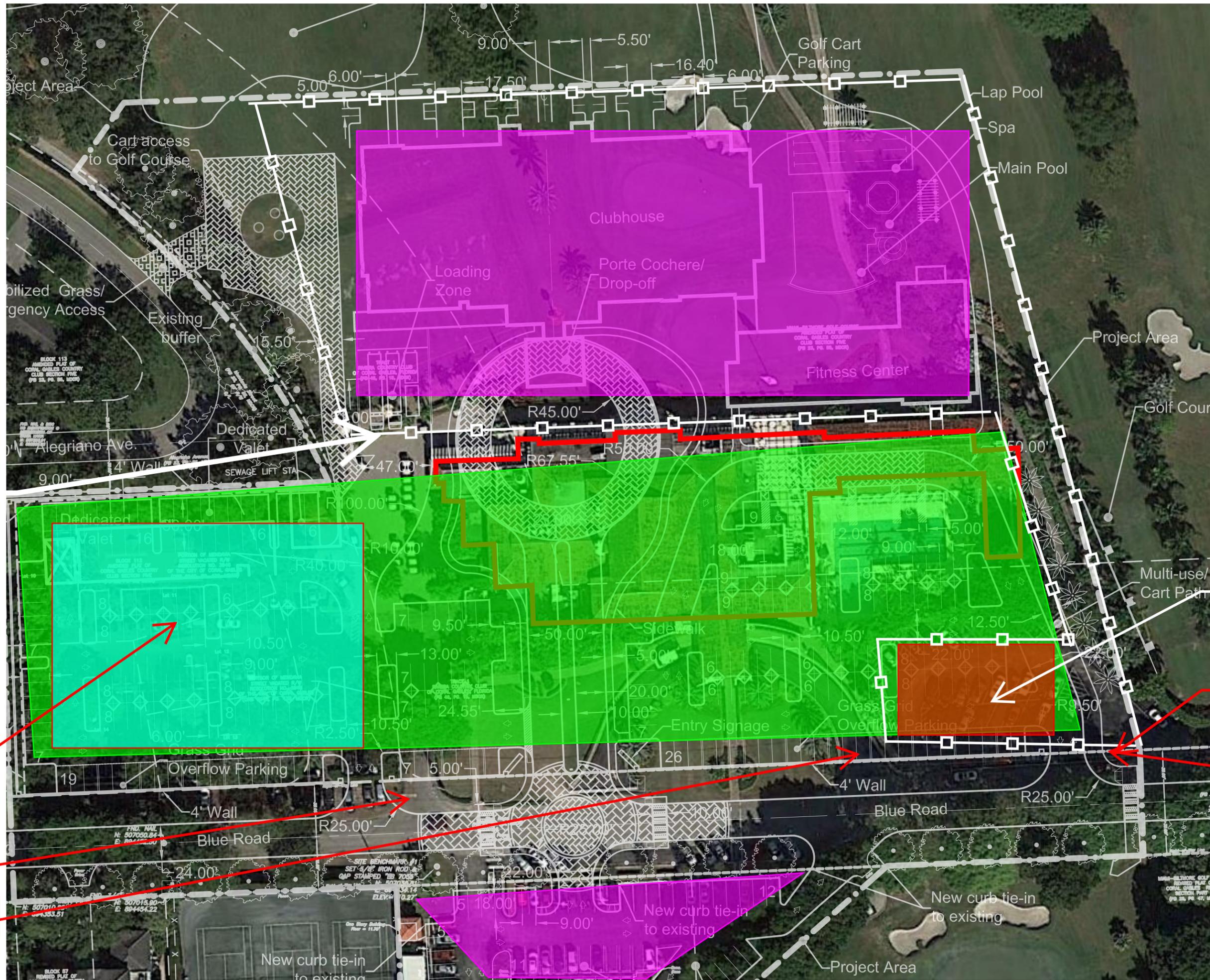
Zoning Map

Zoning Districts

- | | | | |
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| (SFR) Single-Family Residential District | (MFSA) Multi-Family Special Area District | (P) Preservation District | (I) Industrial District |
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| (MF2) Multi-Family 2 District | (S) Special Use District | (C) Commercial District | |

**Plate
10 of 18**

City of Coral Gables
Planning & Zoning Division
July 2013



Temp Construction Fence



Construction Trailer and staging



Phase 1 of Construction



Phase 2 of construction

Construction Trailer and staging

Construction Entrance

Flag men to direct construction traffic in and out of the site

Flag men to direct crane delivery.

Club Member Parking

Club Member Entrance