

VILLA MADEIRA

335 – 341 MADEIRA AVE. CORAL GABLES
MIAMI FLORIDA 33134



**DEVELOPMENT REVIEW COMMITTEE
MARCH 2016**

Owner
Mr. Jorge Redondo.
Dynamic Capital Group, LLC
jredondo01@gmail.com

Landscape Architect
JSF Design Inc.
1833 NW 140 TERRACE
PEMBROKE PINES, FL 33028
Phone: 954.447.1852

ARCHITECTURE | PLANNING | INTERIOR DESIGN

ARCHITECTURAL GROUP
13944 SW 8 STREET, SUITE 206. MIAMI, FL. 33184, O:
305.559.1496

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INSPIRATIONAL IMAGES
01

03.25.16



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VILLA MADEIRA. Inspirational Images

335-341 MADEIRA AVE. CORAL GABLES.
MIAMI, FLORIDA 33134

03.25.16



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Sheet # A1.1





DESIGN DEVELOPMENT

VILLA MADEIRA. Front Perspective(Street View)

335-341 MADEIRA AVE.CORAL GABLES.
MIAMI, FLORIDA 33134

03.25.16



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Sheet # A1.6
Scale: N.T.S.



DESIGN DEVELOPMENT

VILLA MADEIRA. Front Perspective(Street View)

335-341 MADEIRA AVE.CORAL GABLES.
MIAMI, FLORIDA 33134

03.25.16



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Sheet # A1.7
Scale: N.T.S.



DESIGN DEVELOPMENT

VILLA MADEIRA. Front Perspective(Street View)

335-341 MADEIRA AVE.CORAL GABLES.
MIAMI, FLORIDA 33134

03.25.16



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Sheet # A1.7
Scale: N.T.S.



February 22, 2016

VIA HAND DELIVERY

Mr. Ramon Trias
Planning and Zoning Director
City of Coral Gables
427 Biltmore Way, 2nd Floor
Coral Gables, FL 33134

**Re: "Villa Madeira" / 335 and 341 Madeira Avenue, Coral Gables, Florida /
Development Review Committee Application / Statement of Use**

Dear Mr. Trias:

R&R Development Group, LLC, (the "Applicant"), is the contract purchaser of the properties located at 335 and 341 Avenue, in Coral Gables, Florida, which has folio numbers of 03-4108-005-0020 and 03-4108-005-0030 (the "Property"). The Applicant proposes to demolish the two existing four-unit two story apartment buildings and to construct a new six story, 11 unit, luxury apartment development.

The existing two-story apartment buildings have been determined to not have any historic significance by the Coral Gables Historical Resources Department, and the existing apartment units do not meet the architectural or functional standards of quality common in the existing Coral Gables real estate market. Accordingly, we believe that redevelopment of this Property is overdue, desirable, and of mutual benefit to the City and the Applicant. The Property has a Comprehensive Plan Future Land Use Map designation of Residential Multi-Family Medium Density and is zoned (MF2) Multi-Family 2 District.

The purpose of this letter is to request Level 2 review of the proposed project by the Development Review Committee. The project is proposed to include three units per floor on the second, third, and fourth floors, and two units on the fifth floor. The Project represents a considerable improvement both aesthetically and functionally over the existing apartment buildings and will markedly enhance the surrounding neighborhood.

We respectfully request your favorable consideration of this submittal and look forward to continuing to work with the City on this Project. If you have any questions, please do not hesitate to contact me at (305) 376-6061. Thank you for your attention to this matter.

Sincerely,


Mario Garcia-Serra

cc: Mr. Jorge Redondo
Mr. Jose A. Vidal

MIA_ACTIVE 4437036.1

February 18, 2016

VIA HAND DELIVERY

Mr. Ramon Trias
Planning and Zoning Director
City of Coral Gables
427 Biltmore Way, 2nd Floor
Coral Gables, Florida 33134

Re: **"Villa Madeira" / 335 and 341 Madeira Avenue / Art in Public Places Statement**

Dear Mr. Trias:

The Villa Madeira project anticipates that it will be providing the Code required Art in Public Places contribution of 1% of hard construction costs to the City prior to issuance of a building permit for the project. If you have any questions, please contact me at (305) 376-6061.

Sincerely,



Mario Garcia-Serra

MIA_ACTIVE 4437958.1

February 29, 2016

VIA HAND DELIVERY

Mr. Ramon Trias
Planning and Zoning Director
City of Coral Gables
427 Biltmore Way, 2nd Floor
Coral Gables, FL 33134

Re: **"Villa Madeira" / 335 and 341 Madeira Avenue, Coral Gables, Florida / Public Records Search**

Dear Mr. Trias:

In connection with the Development Review Committee Application for the above referenced property, we have conducted a thorough search of the public records for the properties at 335 and 341 Madeira Avenue and have not found any documents in either the City files or archives or the Public Records of Miami-Dade County which may affect the development of the property. Thank you for your attention to this matter. If you have any questions, please contact me at (305) 376-6061.

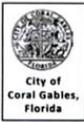
Sincerely,



Mario Garcia-Serra

MIA_ACTIVE 4438341.1



	Level 2	Development Review Committee Application
	Review	Address: 427 Biltmore Way, 2 nd Floor, Coral Gables, Florida 33134 Email: planning@coralgables.com Phone: 305.460.5211

Preamble

The Development Review Committee (DRC) is an administrative and technical committee which reviews policy and technical issues raised by a development project. The DRC is intended to streamline and coordinate the review of the development process by identifying, addressing, providing input, advice and comments regarding all applicable provisions and regulations. The review of the projects and comments on development proposals by the DRC shall not be construed to be an approval of any project presented to the Committee.

Application review request

The undersigned applicant(s)/agent(s)/property owner(s) request(s) Level Two (2) Development Review Committee consideration and review for the following application(s) (please check all that apply):

- Permitted use new construction, additions, and alterations to buildings and/or structures (Board of Architects review only).
- Change in use or occupancy.
- Other: _____

Property information

Street address of the subject property: 335 and 341 Madeira Avenue

Property/project name: Villa Madeira

Current land use classification(s): Residential Multi-Family Medium Density

Current zoning classification(s): (MF2) Multi-Family 2 District

Proposed land use classification(s) (if applicable): N/A

Proposed zoning classification(s) (if applicable): N/A

Last use/current use of the property/building(s): Multifamily Residential

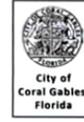
Proposed use(s) of the property/building(s): Multifamily Residential

Size of property (square feet/acres): 12,040 square feet / 0.2764 acres

Total non-residential (i.e., commercial, office, etc.) floor area (total square feet/FAR): N/A

Total number of residential units per acre and total number of units: 40 units per acre / 11 units total

Estimated cost of the existing/proposed building/project: +/- \$2,200,000.00

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Application(s) and date(s) of all previous City of Coral Gables submittals and type of actions related to existing/proposed building/project:

N/A

Project Legal Description: Lot(s): Lots 4, 5, 6 and 7

Block(s): Block 1

Section(s): Section K

Listing of all folio numbers for subject property:

03-4108-005-0020; 03-4108-005-0030

General information

Applicant(s)/Agent(s) Name(s): Mario Garcia-Serra

Telephone Contact No: 305-376-6061 Fax No.: _____ Email: mgarcia-serra @ gunster.com

Mailing Address: 600 Brickell Avenue, Suite 3500, Miami, FL 33131
(City) (State) (ZIP Code)

Property Owner(s) Name(s): Madeira Ave LLC

Telephone Contact No: _____ Fax No.: _____ Email: _____ @ _____

Mailing Address: 8230 SW 38th Street, Miami, FL 33155
(City) (State) (ZIP Code)

	Level 2	Development Review Committee Application
	Review	Address: 427 Biltmore Way, 2 nd Floor, Coral Gables, Florida 33134 Email: planning@coralgables.com Phone: 305.460.5211

Applicant
 Property Owner(s) Name(s): R&R Development Group, LLC

Telephone Contact No: 352-208-9797 Fax No.: _____ Email: jredondo01 @ gmail.com

Mailing Address: 680 NE 105 Lane, Anthony, FL 32617
 (City) (State) (ZIP Code)

Project Architect(s) Name(s): V3 Architectural Group, Inc. / Jose A. Vidal, AIA, LEED AP

Telephone Contact No: 305-904-5117 Fax No.: 1-888-276-4095 Email: jose @ v3architecturalgroup.com

Mailing Address: 13944 SW 8th Street, Suite 206, Miami, FL 33184
 (City) (State) (ZIP Code)

Provide the date(s) and types of application(s) previously filed with the City of Coral Gables and type of reviews, approvals, actions related to this request:

N/A

	Level 2	Development Review Committee Application
	Review	Address: 427 Biltmore Way, 2 nd Floor, Coral Gables, Florida 33134 Email: planning@coralgables.com Phone: 305.460.5211

Application requirements and supporting information

Application submittal dates and meeting dates. Applications for the DRC shall be submitted in no later the first Friday of each month to be scheduled for the same monthly DRC meeting. DRC meetings are held the last Friday of each month, 9:30 a.m. City Commission Chambers, City Hall, 405 Biltmore Way, Coral Gables, Florida 33134. Applicants and/or agent shall be required to attend the meeting to present the application request and respond to City Staff questions. All applications shall be complete at time of submittal.

Preapplication Conference Requirements. A Pre-application Conference is required with the Planning and Zoning Division in advance of application submittal to determine the information necessary to be filed with the application(s). The City reserves the right to request additional information as necessary. City staff to check/confirm if all below information is provided at time of application submittal.

Application submittal (order of documents). The order of the documents for the application submittal shall be as follows (required documents will be determined at pre-application meeting):

- Table of Contents with page numbers identifying all below documents.
- DRC Application.
- Statement of use and/or cover letter.
- Aerial.
- Photographs of property, adjacent uses and/or streetscape.
- Property survey and legal description.
- Zoning chart and supporting information.
- Site Plan.
- Landscape plan and vegetation assessment.
- Tree survey and relocation plan.
- Architectural/building elevations.
- Building floor plans.
- Art in Public Places plan and/or statement.
- Ordinances, resolutions, covenants, development agreements, etc. previously granted for the property.
- Historical Significance letter.
- Name and contact information for property owner, applicant, architect, attorney, etc.
- City of Coral Gables Annual Registration Application and Issue Application Lobbyist forms.
- Warranty Deed.
- Application fee of \$100.00 dollars in check form, payable to the City of Coral Gables. Submit copy of check.
- Other: _____

Posting of the property. The City will post the subject property with a sign in accordance with the requirements of the Zoning Code indicating the DRC meeting date and location. The sign will be installed ten (10) days prior to the meeting and shall not be removed until after the meeting has been held, at which time it is the applicant's responsibility to remove the sign.

	Level	2	Development Review Committee Application
	Review		
Address: 427 Biltmore Way, 2 nd Floor, Coral Gables, Florida 33134 Email: planning@coralgables.com Phone: 305.460.5211			

Application submittal requirements

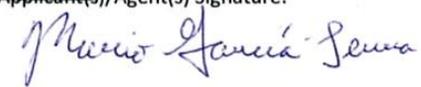
1. Hard copies. Three (3) hard copies of the entire application shall be submitted including all the items identified in the pre-application conference. Plans and drawings shall be in 11" x 17" format.
2. Electronic copy. One (1) PDF of the entire application shall be submitted including all items provided within the hard copies. The documents provided in the electronic copy shall be the same size (11" x 17" maximum for plans and drawings) and in the same order as the hard copy submittal. The total file size shall not exceed 30 MB.

Applicant/agent/property owner/architect affirmation and consent

(I) (We) affirm and certify to all of the following:

1. Submission of the following:
 - a. Warranty deed/tax record as proof of ownership for all properties considered as a part of the application request; or
 - b. Authorized as the applicant(s)/agent(s) identified herein to file this application and act on behalf of all current property owner(s) and modify any valid City of Coral Gables entitlements in effect during the entire review process.
2. This request, application, application supporting materials and all future supporting materials complies with all provisions and regulations of the Zoning Code, Comprehensive Land Use Plan and Code of Ordinances of the City of Coral Gables unless identified and approved as a part of this application request or other previously approved applications. Applicant understands that any violation of these provisions renders the application invalid.
3. That all the information contained in this application and all documentation submitted herewith is true to the best of (my) (our) knowledge and belief.
4. Understand that the application, all attachments and fees become a part of the official records of the City of Coral Gables and are not returnable.
5. Failure to provide the information necessary pursuant to the established time frames included but not limited to application submittal, submission of revised documents, etc. for review by City Staff and the designated reviewing entity may cause application to be deferred without further review until such time the requested information is submitted.
6. All representatives of the application have registered with and completed lobbyist forms for the City of Coral Gables City Clerk's office.
7. Understand that under Florida Law, all the information submitted as part of the application are public records.
8. The subject property will be posted by the City in accordance with Zoning Code requirements. The sign shall be installed by the City ten (10) days prior to the meeting and shall not be removed until after the meeting, at which time it is the applicant's responsibility to remove the sign.
9. The application will not be heard unless the Applicant and/or agent is present at the DRC meeting.

	Level	2	Development Review Committee Application
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Address: 427 Biltmore Way, 2 nd Floor, Coral Gables, Florida 33134 Email: planning@coralgables.com Phone: 305.460.5211			

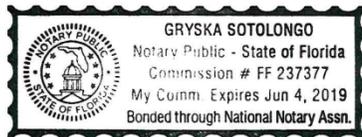
Applicant(s)/Agent(s) Signature: 	Applicant(s)/Agent(s) Print Name: Mario Garcia-Serra
Address: 600 Brickell Avenue, Suite 3500, Miami, FL 33131	
Telephone: 305-376-6061	Fax:
Email: mgarcia-serra@gunster.com	
NOTARIZATION	
STATE OF FLORIDA/COUNTY OF	
The foregoing instrument was acknowledged before me this <u>19th</u> day of <u>February</u> by <u>Mario Garcia-Serra</u>	
(Signature of Notary Public - State of Florida)	
	
(Print, Type or Stamp Commissioned Name of Notary Public)	
<input checked="" type="checkbox"/> Personally Known OR <input type="checkbox"/> Produced Identification; Type of Identification Produced _____	

 City of Coral Gables, Florida	Level 2	Development Review Committee Application Address: 427 Biltmore Way, 2 nd Floor, Coral Gables, Florida 33134 Email: planning@coralgables.com Phone: 305.460.5211
	Review	

Property Owner(s) Signature: 	Property Owner(s) Print Name: Jorge Redondo, Manager R&R Development Group, LLC
Property Owner(s) Signature:	Property Owner(s) Print Name:
Property Owner(s) Signature:	Property Owner(s) Print Name:
Address: 680 NE 105 Lane, Anthony, FL 32617	
Telephone: 352-208-9797	Fax:
Email: jredondo01@gmail.com	

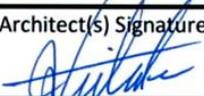
NOTARIZATION

STATE OF FLORIDA/COUNTY OF
 The foregoing instrument was acknowledged before me this 2nd day of March, 2016 by Gryska Sotolongo
 (Signature of Notary Public - State of Florida)



(Print, Type or Stamp Commissioned Name of Notary Public)
 Personally Known OR Produced Identification; Type of Identification Produced _____

 City of Coral Gables, Florida	Level 2	Development Review Committee Application Address: 427 Biltmore Way, 2 nd Floor, Coral Gables, Florida 33134 Email: planning@coralgables.com Phone: 305.460.5211
	Review	

Architect(s) Signature: 	Architect(s) Print Name: Jose A. Vidal, AIA, LEED AP
Address: 13944 SW 8th Street, Suite 206, Miami, FL 33184	
Telephone: 305-904-5117	Fax: 1-888-276-4095
Email: jose@v3architecturalgroup.com	



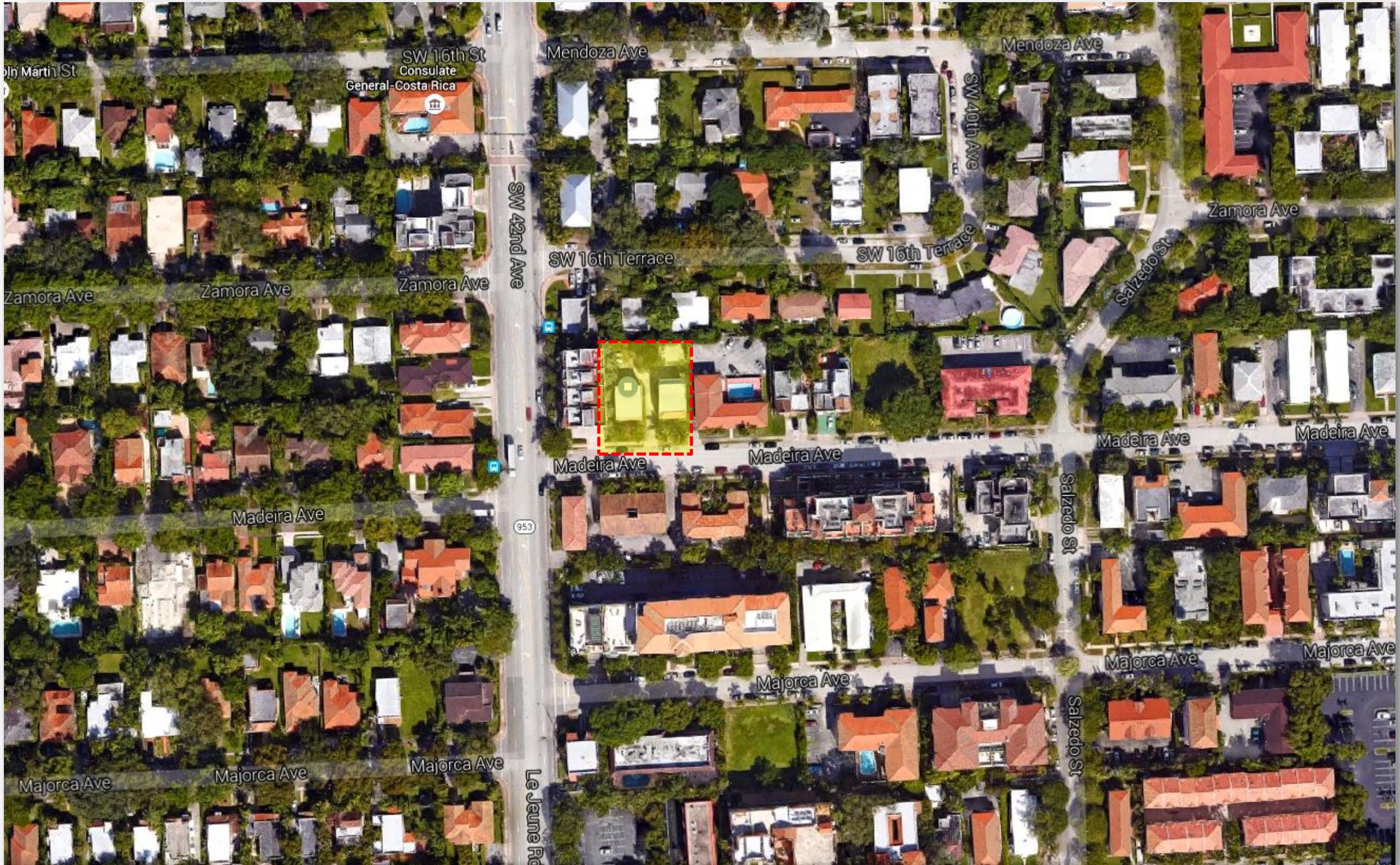
NOTARIZATION

STATE OF FLORIDA/COUNTY OF
 The foregoing instrument was acknowledged before me this 22 day of February by Jose Vidal
 (Signature of Notary Public - State of Florida)



(Print, Type or Stamp Commissioned Name of Notary Public)
 Personally Known OR Produced Identification; Type of Identification Produced _____





VILLA MADEIRA . Context Site Aerial (TOP)

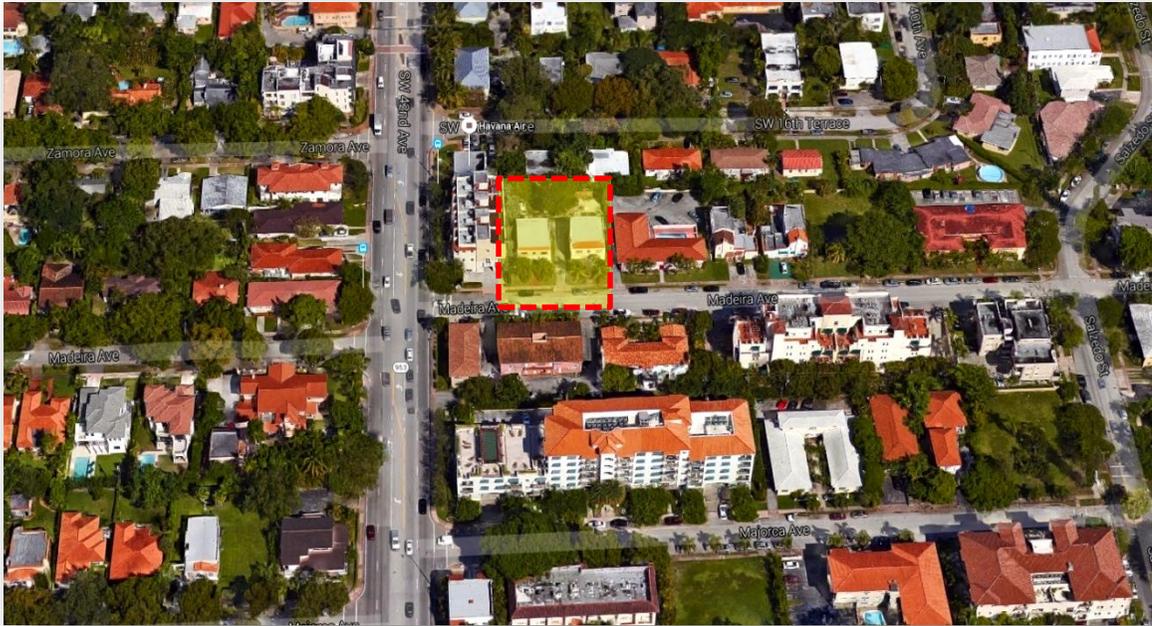
335-341 MADEIRA AVE. CORAL GABLES.
MIAMI, FLORIDA 33134

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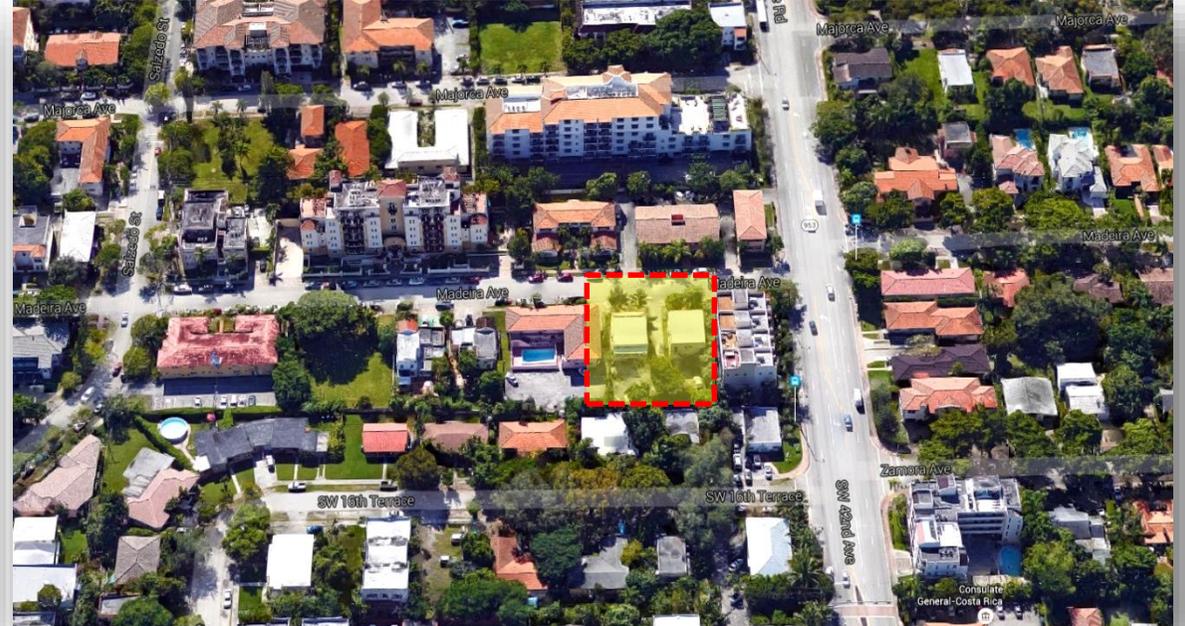


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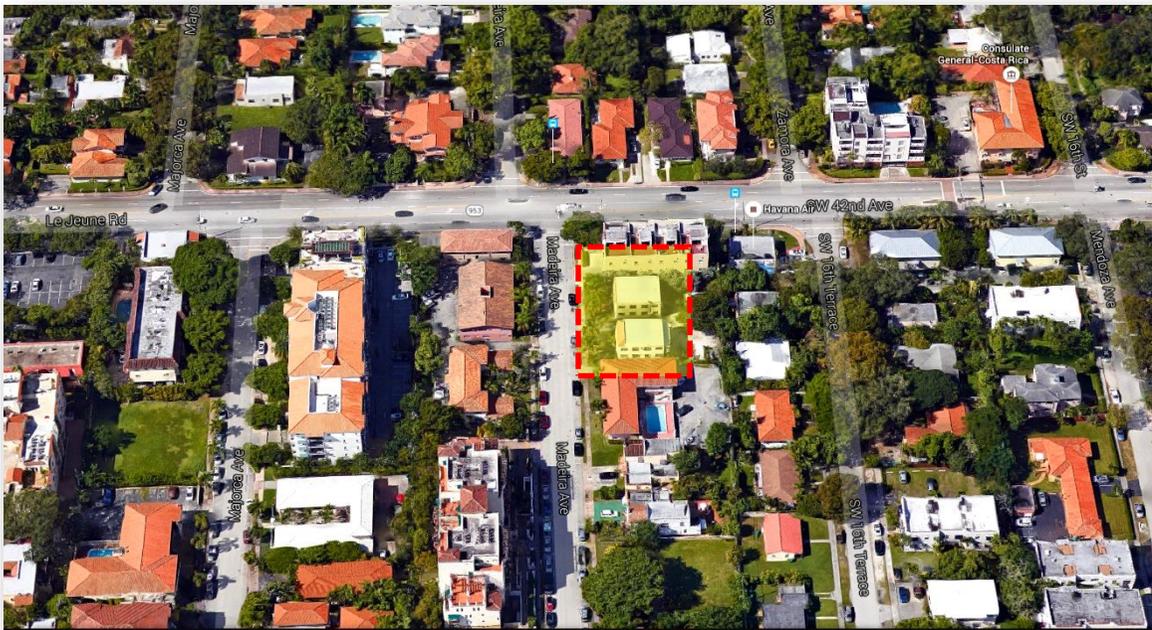
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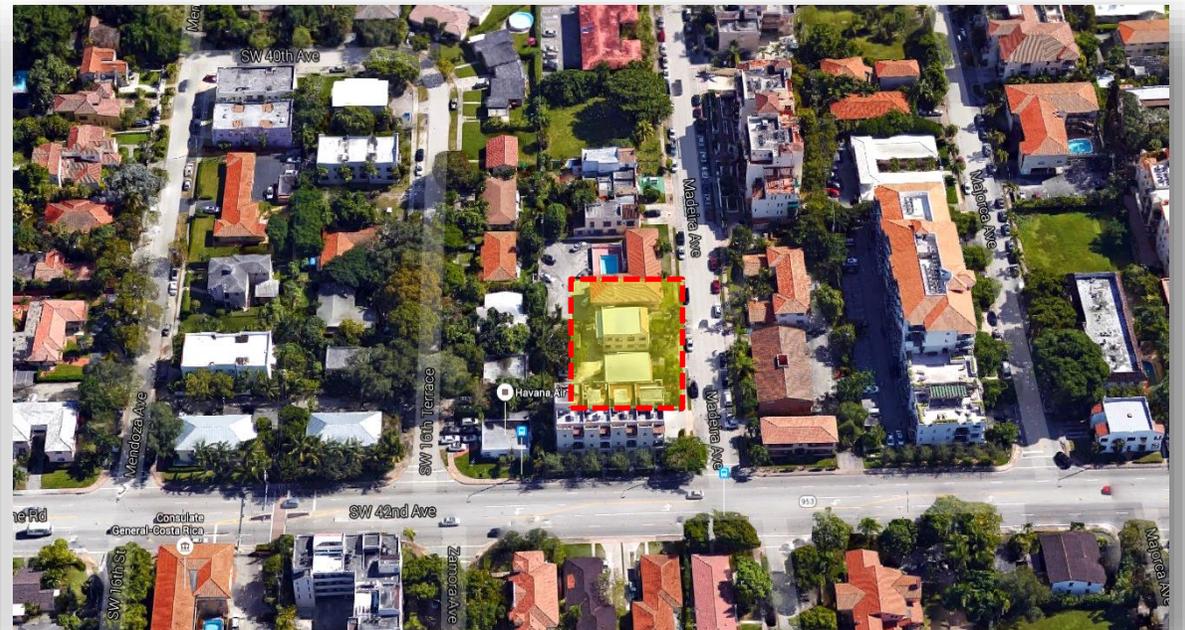
SOUTH VIEW



NORTH VIEW



EAST VIEW



WEST VIEW

PHOTOGRAPHS OF PROPERTY, ADJACENT USES AND/OR STREETScape

06

03.25.16



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VILLA MADEIRA . Site Photographs

335-341 MADEIRA AVE. CORAL GABLES.
MIAMI, FLORIDA 33134

03.25.16



Scale: N.T.S.

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VILLA MADEIRA . Site Photographs

335-341 MADEIRA AVE. CORAL GABLES.
MIAMI, FLORIDA 33134

03.25.16



Scale: N.T.S.

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TREE SURVEY



LOCATION MAP
NOT TO SCALE

SURVEYOR'S NOTES

I-DATE OF COMPLETION:

01-05-2015

II-LEGAL DESCRIPTION AND PROPERTY ADDRESS:

LOTS 6 & 7, IN BLOCK 1, OF CORAL GABLES AMENDED PLAT OF SECTION "K", ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 30 AT PAGE 60, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

PROPERTY ADDRESS: 335 MADEIRA AVE. CORAL GABLES, FL 33134

FOLIO #: 03-4108-005-0030

R&R Development Group, LLC, a Florida limited liability company
Commonwealth Land Title Insurance Company
Union Title Services, Inc

III-ACCURACY:

ALTHOUGH THIS IS WITHIN PUBLIC PROPERTY, THE SURVEY WAS PREDICATED ON THE EXPECTED USE OF LAND, AS CLASSIFIED IN THE "MINIMUM TECHNICAL STANDARDS FOR LAND SURVEYING IN THE STATE OF FLORIDA," PURSUANT TO RULE 5J-17 OF THE FLORIDA ADMINISTRATIVE CODE IS "SUBURBAN" THE MINIMUM RELATIVE DISTANCE ACCURACY FOR THIS TYPE OF SURVEY IS 1 FOOT IN 7,500 FEET. THE ACCURACY OBTAINED BY MEASUREMENT AND CALCULATION OF CLOSED GEOMETRIC FIGURES WAS FOUND TO EXCEED THIS REQUIREMENT.

IV-SOURCES OF DATA:

THIS SURVEY IS BASED UPON RECORDED INFORMATION AS PROVIDED BY CLIENT. NO SPECIFIC SEARCH OF THE PUBLIC RECORD HAS BEEN MADE BY 3TCI.

NORTH ARROW DIRECTION IS BASED ON AN ASSUMED MERIDIAN.

BEARINGS AS SHOWN HEREON ARE BASED UPON THE CENTER LINE OF MADEIRA AVENUE WITH AN ASSUMED BEARING OF S87°23'56"E SAID LINE TO BE CONSIDERED A WELL MONUMENTED LINE.

THIS SURVEY HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE ENTITIES NAMED HEREON ONLY AND THE CERTIFICATIONS HEREON DO NOT EXTEND TO ANY UNNAMED PARTIES.

THIS PROPERTY APPEARS TO BE LOCATED IN FLOOD ZONE: "X", AS PER FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) COMMUNITY-PANEL: CITY OF CORAL GABLES 120639, MAP-PANEL: 12086C-0294, SUFFIX L, EFFECTIVE DATE: SEPTEMBER 11, 2009 AND A FIRM INDEX DATE OF SEPTEMBER 11, 2009.

IN SOME CASES GRAPHIC REPRESENTATION HAVE BEEN EXAGGERATED TO MORE CLEARLY ILLUSTRATE A PARTICULAR AREA WHERE DIMENSIONS SHALL HAVE PREFERENCE OVER GRAPHIC LOCATION.

V-VERTICAL CONTROL:

ELEVATIONS ARE BASED UPON THE NATIONAL GEODETIC VERTICAL DATUM 1929 AS PER CITY OF CORAL GABLES PUBLIC WORKS DEPARTMENT BENCHMARK No. CG-285 SAID BENCHMARK HAS AN ELEVATION OF 11.10 FEET.

UNDERGROUND IMPROVEMENTS HAVE NOT BEEN LOCATED EXCEPT AS SPECIFICALLY SHOWN. SUBSURFACE SOIL CONDITIONS WERE NOT DETERMINED, AS THIS FALLS OUTSIDE THE PURVIEW OF THIS SURVEY. THESE CONDITIONS MAY INCLUDE THE DETERMINATION OF WETLANDS, FILLED-IN AREAS, GEOLOGICAL CONDITIONS OR POSSIBLE CONTAMINATION BY HAZARDOUS LIQUID OR SOLID WASTE THAT MAY OCCUR WITHIN, UPON, ACROSS, ABUTTING OR ADJACENT TO THE SUBJECT PROPERTY.

VI-SURVEYOR'S CERTIFICATE:

I HEREBY CERTIFY: THAT THIS "BOUNDARY SURVEY" AND THE SURVEY MAP RESULTING THEREFROM WAS PERFORMED UNDER MY DIRECTION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND FURTHER, THAT SAID "BOUNDARY SURVEY" MEETS THE INTENT OF THE APPLICABLE PROVISIONS OF THE "MINIMUM TECHNICAL STANDARDS FOR LAND SURVEYING IN THE STATE OF FLORIDA", PURSUANT TO RULE 5J-17 OF THE FLORIDA ADMINISTRATIVE CODE AND ITS IMPLEMENTING LAW, CHAPTER 472.027 OF THE FLORIDA STATUTES.

3TCI, Inc., A FLORIDA CORPORATION
FLORIDA CERTIFICATE OF AUTHORIZATION NUMBER LB7799

BY: 
ROLANDO ORTIZ
REGISTERED SURVEYOR AND MAPPER LS4312
STATE OF FLORIDA



NOTICE: NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER. ADDITIONS OR DELETIONS TO SURVEY MAPS BY OTHER THAN THE SIGNING PARTY ARE PROHIBITED WITHOUT THE WRITTEN CONSENT OF THE SIGNING



3TCI, Inc. LB7799
PROFESSIONAL LAND SURVEYORS AND MAPPERS
12211 SW 129th CT. MIAMI FL 33186
tel: 305-378-1662 fax: 305-378-1662 www.3tci.com

NOT VALID WITHOUT SHEET 2 OF 2

(SHEET 2 OF 2 CONTAINS THE BOUNDARY SURVEY MAP)

DRAFTER:	CHECKED:	FIELD BOOK:	JOB NUMBER:	SCALE:	SHEET:
FES	FES	2013-2	13-439	N/A	1 OF 2

VILLA MADEIRA . Survey and Legal Description.

335-341 MADEIRA AVE. CORAL GABLES.
MIAMI, FLORIDA 33134

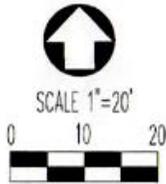
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Scale: N.T.S.

SKETCH OF SURVEY

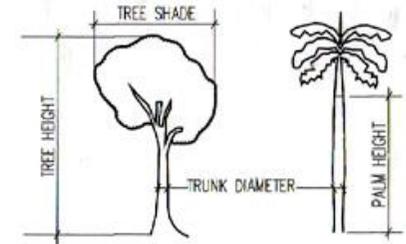
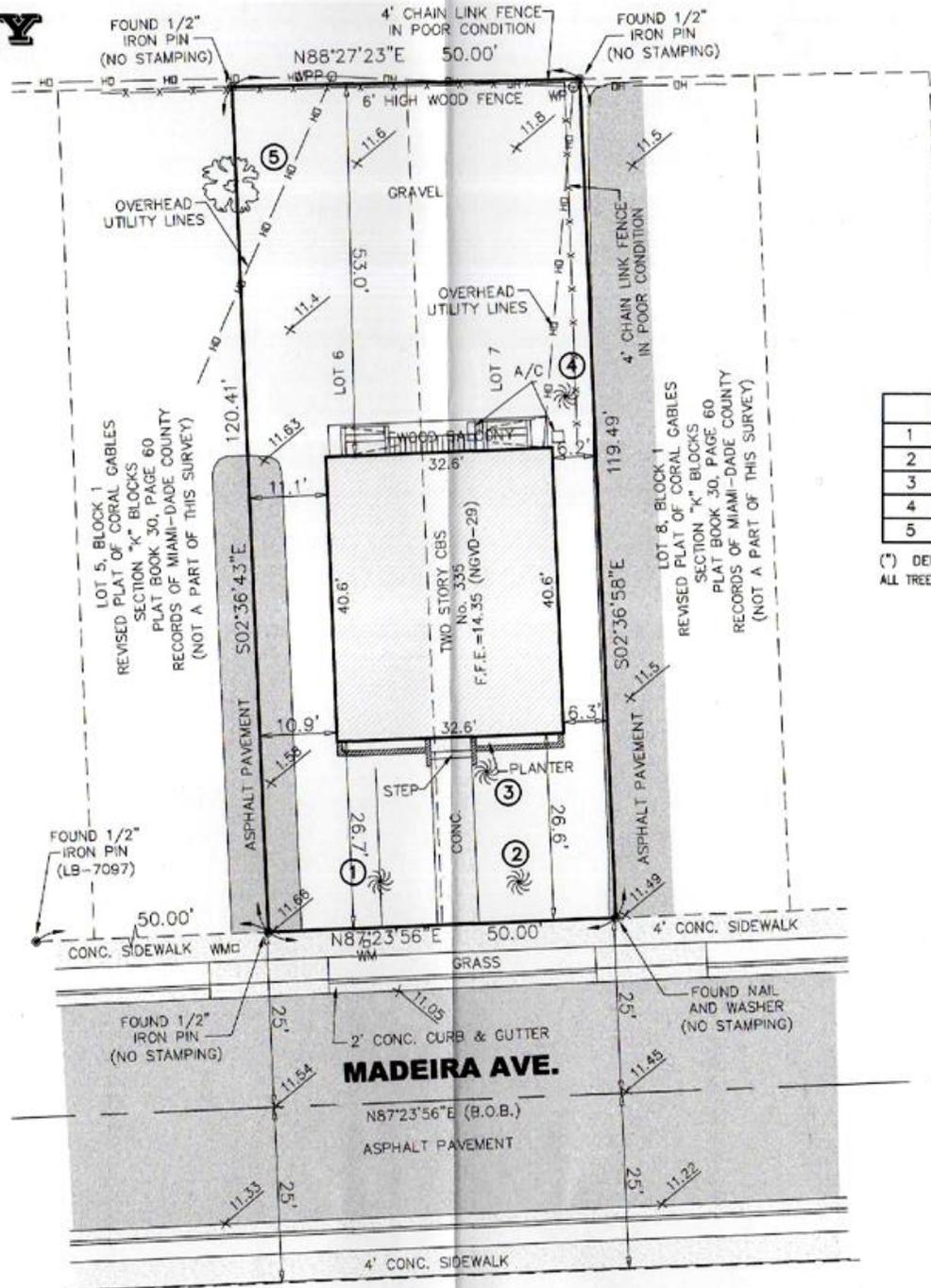


LEGEND:

- CO CLEANOUT
- CB CATCH BASIN
- CPP CONCRETE POWER POLE
- GP GUARD POLE
- GT GREASE TRAP
- GV GAS VALVE
- HS HANDICAP SIGN
- LP LIGHT POLE
- LB LIGHT BOLLARD
- EB ELECTRIC BOX
- EM ELECTRIC MANHOLE
- FH FIRE HYDRANT
- ICV IRRIGATION CONTROL VALVE
- MW MONITORING WELL
- MB MAIL BOX
- S SIGN
- SSM SANITARY SEWER MANHOLE
- SSMH STORM SEWER MANHOLE
- TM TELEPHONE MANHOLE
- UM UNKNOWN MANHOLE
- PM PARKING METER
- SL SPOT LIGHT
- SE SPOT ELEVATION
- SV SEWER VALVE
- UB UTILITY BOX
- WV WATER VALVE
- WM WATER METER
- WP WOOD POLE
- WPT WOOD POLE WITH TRANSFORMER

ABBREVIATIONS:

- A/C AIR CONDITIONING PAD
- BLDG. BUILDING
- CLF CHAIN LINK FENCE
- CBS CONCRETE BLOCK STRUCTURE
- (C) CALCULATED
- CB CATCH BASIN
- CH. CHORD DISTANCE
- CL CENTER LINE
- CONC. CONCRETE
- Δ DELTA
- E EAST
- ENC. ENCROACHMENT
- F.I.P. FOUND IRON PIPE
- F.I.R. FOUND REBAR
- F.F.E. FINISH FLOOR ELEVATION
- F.N. FOUND NAIL
- GV GAS VALVE
- L LENGTH
- N NORTH
- N.G.V.D. NATIONAL GEODETIC VERTICAL DATUM
- O.E. OVERHEAD ELECTRIC LINE
- O/L ON LINE
- (MEAS.) MEASURED
- P.R.M. POINT REFERENCE MONUMENT
- (REC.) RECORD
- R RADIUS
- R/W RIGHT-OF-WAY
- S SOUTH
- SEC. SECTION
- T TANGENT
- U.E. UTILITY EASEMENT
- W WEST
- W/F WOOD FENCE
- B.O.B. BASIS OF BEARINGS



	COMMON NAME	SCIENTIFIC NAME	TRUNK	SPREAD	HEIGHT
1	COCONUT PALM	COCOS NUCIFERA	12"	18'	12'
2	COCONUT PALM	COCOS NUCIFERA	12"	18'	12'
3	SOLITAIRE PALM	PTYCHOSPERMA ELEGANS	3"	8'	15'
4	SOLITAIRE PALM	PTYCHOSPERMA ELEGANS	4"	5'	6'
5	TROPICAL ALMOND	TERMINALIA CATAPPA	36"	30'	30'

(") DENOTES INCHES / (') DENOTES FEET
ALL TREES WERE TAKEN READING OF TRUNK DIAMETER AT CHEST HEIGHT.

3TCI, Inc. LB7799
PROFESSIONAL LAND SURVEYORS AND MAPPERS
12211 SW 129th CT. MIAMI FL 33186
tel: 305-378-1662 fax: 305-378-1662 www.3tci.com



NOT VALID WITHOUT SHEET 1 OF 2

(SHEET 1 OF 2 CONTAINS THE SURVEY REPORT)

DRAFTER: FES	CHECKED: RO	FIELD BOOK: 2013-2	JOB NUMBER: 13-439	SCALE: 1"=20'	SHEET: 2 OF 2
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VILLA MADEIRA . Survey and Legal Description.

335-341 MADEIRA AVE. CORAL GABLES.
MIAMI, FLORIDA 33134

03.25.16



ARCHITECTURAL GROUP

Scale: N.T.S.

TREE SURVEY



LOCATION MAP
NOT TO SCALE

SURVEYOR'S NOTES

I-DATE OF COMPLETION:

01-05-2015

II-LEGAL DESCRIPTION AND PROPERTY ADDRESS:

LOTS 4 & 5, IN BLOCK 1, OF REVISED PLAT OF GABLES SECTION "K", ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 30 AT PAGE 60, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

PROPERTY ADDRESS: 341 MADEIRA AVE. CORAL GABLES, FL 33134

FOLIO #: 03-4108-005-0020

R&R Development Group, LLC, a Florida limited liability company
Commonwealth Land Title Insurance Company
Union Title Services, Inc

III-ACCURACY:

ALTHOUGH THIS IS WITHIN PUBLIC PROPERTY, THE SURVEY WAS PREDICATED ON THE EXPECTED USE OF LAND, AS CLASSIFIED IN THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN THE STATE OF FLORIDA, PURSUANT TO RULE 5J-17 OF THE FLORIDA ADMINISTRATIVE CODE IS "SUBURBAN" THE MINIMUM RELATIVE DISTANCE ACCURACY FOR THIS TYPE OF SURVEY IS 1 FOOT IN 7,500 FEET. THE ACCURACY OBTAINED BY MEASUREMENT AND CALCULATION OF CLOSED GEOMETRIC FIGURES WAS FOUND TO EXCEED THIS REQUIREMENT.

IV-SOURCES OF DATA:

THIS SURVEY IS BASED UPON RECORDED INFORMATION AS PROVIDED BY CLIENT. NO SPECIFIC SEARCH OF THE PUBLIC RECORD HAS BEEN MADE BY 3TCI.

NORTH ARROW DIRECTION IS BASED ON AN ASSUMED MERIDIAN.

BEARINGS AS SHOWN HEREON ARE BASED UPON THE CENTER LINE OF MADEIRA AVENUE WITH AN ASSUMED BEARING OF S87°23'56"E SAID LINE TO BE CONSIDERED A WELL MONUMENTED LINE.

THIS SURVEY HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE ENTITIES NAMED HEREON ONLY AND THE CERTIFICATIONS HEREON DO NOT EXTEND TO ANY UNNAMED PARTIES.

THIS PROPERTY APPEARS TO BE LOCATED IN FLOOD ZONE: "X", AS PER FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) COMMUNITY-PANEL: CITY OF CORAL GABLES 120639, MAP-PANEL: 12086C-0294, SUFFIX L, EFFECTIVE DATE: SEPTEMBER 11, 2009 AND A FIRM INDEX DATE OF SEPTEMBER 11, 2009.

IN SOME CASES GRAPHIC REPRESENTATION HAVE BEEN EXAGGERATED TO MORE CLEARLY ILLUSTRATE A PARTICULAR AREA WHERE DIMENSIONS SHALL HAVE PREFERENCE OVER GRAPHIC LOCATION.

V-VERTICAL CONTROL:

ELEVATIONS ARE BASED UPON THE NATIONAL GEODETIC VERTICAL DATUM 1929 AS PER CITY OF CORAL GABLES PUBLIC WORKS DEPARTMENT BENCHMARK No. CG-285 SAID BENCHMARK HAS AN ELEVATION OF 11.10 FEET.

UNDERGROUND IMPROVEMENTS HAVE NOT BEEN LOCATED EXCEPT AS SPECIFICALLY SHOWN. SUBSURFACE SOIL CONDITIONS WERE NOT DETERMINED, AS THIS FALLS OUTSIDE THE PURVIEW OF THIS SURVEY. THESE CONDITIONS MAY INCLUDE THE DETERMINATION OF WETLANDS, FILLED-IN AREAS, GEOLOGICAL CONDITIONS OR POSSIBLE CONTAMINATION BY HAZARDOUS LIQUID OR SOLID WASTE THAT MAY OCCUR WITHIN, UPON, ACROSS, ABUTTING OR ADJACENT TO THE SUBJECT PROPERTY.

VI-SURVEYOR'S CERTIFICATE:

I HEREBY CERTIFY: THAT THIS "TREE SURVEY" AND THE SURVEY MAP RESULTING THEREFROM WAS PERFORMED UNDER MY DIRECTION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND FURTHER, THAT SAID "TREE SURVEY" MEETS THE INTENT OF THE APPLICABLE PROVISIONS OF THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN THE STATE OF FLORIDA, PURSUANT TO RULE 5J-17 OF THE FLORIDA ADMINISTRATIVE CODE AND ITS IMPLEMENTING LAW, CHAPTER 472.027 OF THE FLORIDA STATUTES.

3TCI, Inc., A FLORIDA CORPORATION
FLORIDA CERTIFICATE OF AUTHORIZATION NUMBER LB7799

BY: 
ROLANDO ORTIZ
REGISTERED SURVEYOR AND MAPPER LS4312
STATE OF FLORIDA



NOTICE: NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER. ADDITIONS OR DELETIONS TO SURVEY MAPS BY OTHER THAN THE SIGNING PARTY ARE PROHIBITED WITHOUT THE WRITTEN CONSENT OF THE SIGNING



3TCI

3TCI, Inc. LB7799
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NOT VALID WITHOUT SHEET 2 OF 2

(SHEET 2 OF 2 CONTAINS THE BOUNDARY SURVEY MAP)

DRAFTER:	CHECKED:	FIELD BOOK:	JOB NUMBER:	SCALE:	SHEET:
FES	FES	2013-2	13-440	N/A	1 OF 2

VILLA MADEIRA . Survey and Legal Description.

335-341 MADEIRA AVE. CORAL GABLES.
MIAMI, FLORIDA 33134

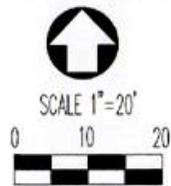
03.25.16



ARCHITECTURAL GROUP

Scale: N.T.S.

SKETCH OF SURVEY

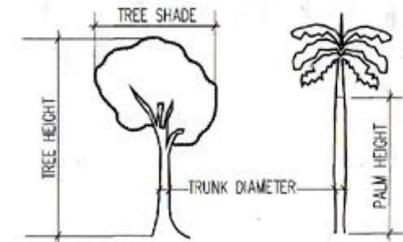
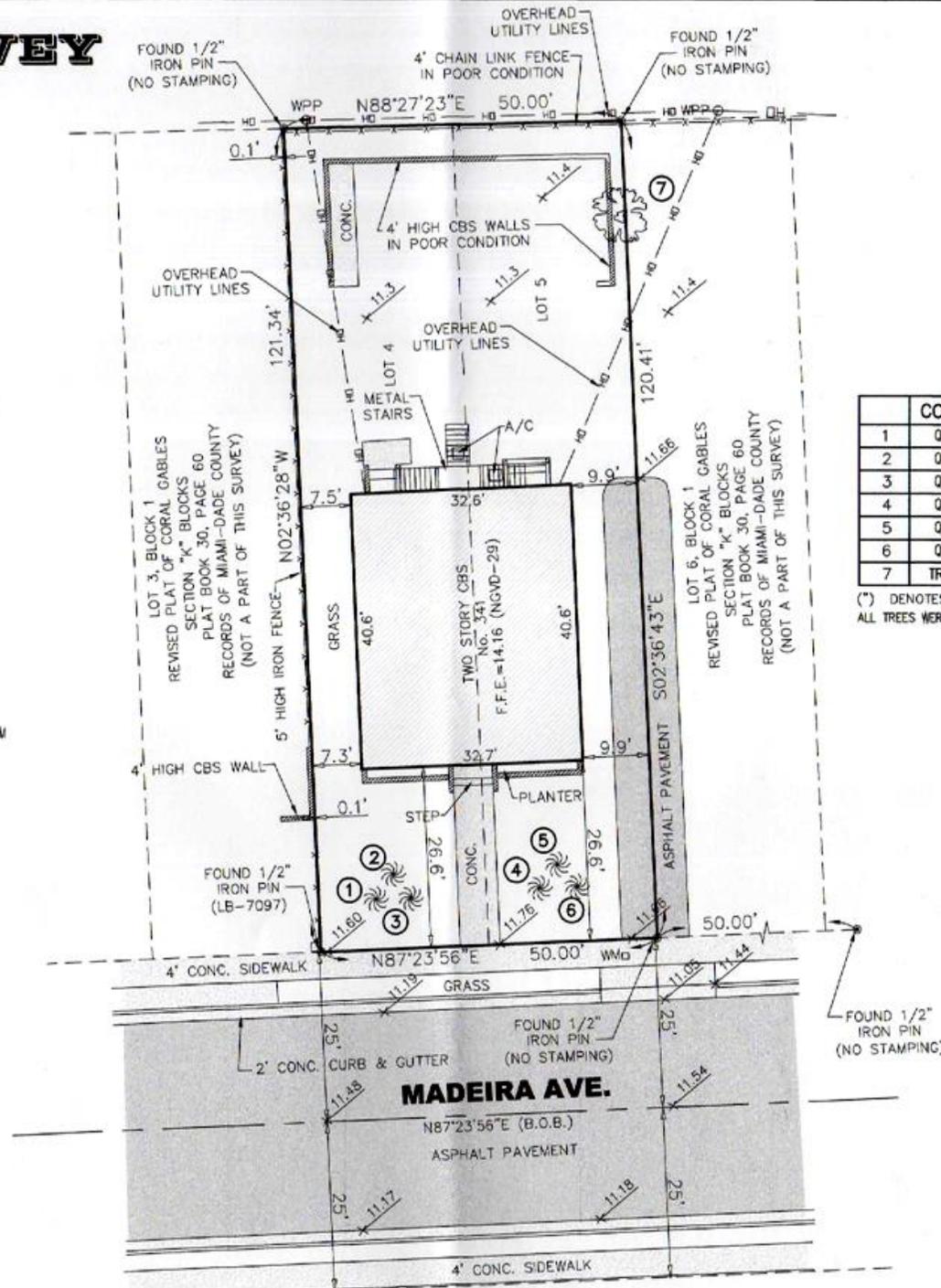


LEGEND:

- CO CLEANOUT
- CB CATCH BASIN
- CPP CONCRETE POWER POLE
- GP GUARD POLE
- GT GREASE TRAP
- GV GAS VALVE
- HS HANDICAP SIGN
- LP LIGHT POLE
- LB LIGHT BOLLARD
- EB ELECTRIC BOX
- EM ELECTRIC MANHOLE
- FH FIRE HYDRANT
- ICV IRRIGATION CONTROL VALVE
- MW MONITORING WELL
- MB MAIL BOX
- SIGN
- SSM SANITARY SEWER MANHOLE
- SSM STORM SEWER MANHOLE
- TM TELEPHONE MANHOLE
- UM UNKNOWN MANHOLE
- PM PARKING METER
- SL SPOT LIGHT
- SE SPOT ELEVATION
- SV SEWER VALVE
- UB UTILITY BOX
- WV WATER VALVE
- WM WATER METER
- WP WOOD POLE
- WPT WOOD POLE WITH TRANSFORMER

ABBREVIATIONS:

- A/C AIR CONDITIONING PAD
- BLDG. BUILDING
- CLF CHAIN LINK FENCE
- CBS CONCRETE BLOCK STRUCTURE
- (C) CALCULATED
- CB CATCH BASIN
- CH. CHORD DISTANCE
- CL CENTER LINE
- CONC. CONCRETE
- Δ DELTA
- E EAST
- ENC. ENCROACHMENT
- F.I.P. FOUND IRON PIPE
- F.I.R. FOUND REBAR
- F.F.E. FINISH FLOOR ELEVATION
- F.N. FOUND NAIL
- GV GAS VALVE
- L LENGTH
- N NORTH
- N.G.V.D. NATIONAL GEODETIC VERTICAL DATUM
- O.E. OVER-HEAD ELECTRIC LINE
- O/L ON LINE
- (MEAS.) MEASURED
- P.R.M. POINT REFERENCE MONUMENT
- (REC.) RECORD
- R RADIUS
- R/W RIGHT-OF-WAY
- S SOUTH
- SEC. SECTION
- T TANGENT
- U.E. UTILITY EASEMENT
- W WEST
- W/F WOOD FENCE
- B.O.B. BASIS OF BEARINGS



	COMMON NAME	SCIENTIFIC NAME	TRUNK	SPREAD	HEIGHT
1	QUEEN PALM TREE	SYAGRUS ROMANZOFFIANA	6"	12'	15'
2	QUEEN PALM TREE	SYAGRUS ROMANZOFFIANA	4"	6'	8'
3	QUEEN PALM TREE	SYAGRUS ROMANZOFFIANA	4"	8'	10'
4	QUEEN PALM TREE	SYAGRUS ROMANZOFFIANA	4"	8'	10'
5	QUEEN PALM TREE	SYAGRUS ROMANZOFFIANA	4"	10'	10'
6	QUEEN PALM TREE	SYAGRUS ROMANZOFFIANA	4"	8'	7'
7	TROPICAL ALMOND	TERMINALIA CATAPPA	36"	30'	30'

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NOT VALID WITHOUT SHEET 1 OF 2

(SHEET 1 OF 2 CONTAINS THE SURVEY REPORT)

DRAFTER: FES	CHECKED: RO	FIELD BOOK: 2013-2	JOB NUMBER: 13-440	SCALE: 1"=20'	SHEET: 2 OF 2
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VILLA MADEIRA . Survey and Legal Description.

335-341 MADEIRA AVE. CORAL GABLES.
MIAMI, FLORIDA 33134

03.25.16



ARCHITECTURAL GROUP

Scale: N.T.S.



FLOOD LEGEND:

- FLOOD ZONE: "X"
- ADDRESS: 335-341 MADEIRA AVE. CORAL GABLE, FL 33134
- LOTS: 4,5,6 & 7 BLOCK: 1
- PLAT BOOK: 30 PAGE: 60 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.
- HIGHEST CROWN OF ROAD ELEV.: 12.21 FT. N.G.V.D.
- HIGHEST CROWN OF ROAD ELEV WAS TAKEN FROM THE ATTACHED CERTIFIED SURVEY
- PREPARED BY: ROLANDO ORTIZ PLS LIC. # LB7799
SURVEYORS NAME
- LOWEST FLOOR ELEVATION: PROPOSED: 13.10'
- GARAGE FLOOR ELEVATION: N/A
- ALL ELECTRICAL, MECHANICAL AND PLUMBING WILL BE PLACED AT OR THE BASE FLOOD ELEVATION (B.F.E.)
- ALL AREAS BELOW B.F.E. SHALL BE PROVIDE WITH A MINIMUM OF TWO (2) OPENINGS HAVING A TOTAL NET AREA OF LESS THAN ONE SQUARE INCH OF OPENING FOR EVERY SQUARE FOOT OF ENCLOSED AREA SUBJECT TO FLOODING. THE BOTTOM OF THE OPENING WILL BE NO HIGHER THAN ONE (1) FOOT ABOVE GRADE AND LOCATED ON DIFFERENT SIDES OF THE ENCLOSED AREA. OPENINGS WILL BE EQUIPPED WITH SCREENS OR LOUVERS. FLOOD RESISTANT MATERIALS WILL BE USED BELOW B.F.E.
- ALTERNATIVELY A CERTIFICATION BY: _____ P.E. ON THE PLAN NOTES INDICATING THAT THE DESIGN WILL ALLOWED FOR THE AUTOMATIC EQUALIZATION OF HYDROSTATIC FLOOD FORCES ON EXTERIOR WALLS.
- THE SITE WILL BE GRADE IN A MANNER TO PREVENT THE FLOODING AF ADJACENT PROPERTIES. WHERE NECESSARY INTERCEPTOR SWELLS WILL BE CONSTRUCTED ON-SITE WITH NO ENCROACHMENT OVER ADJACENT PROPERTIES.
- 0'-0"= +13.10' N.G.V.D.

ZONING INFORMATION:

• ZONING:	MULTI-FAMILY 2 (MF2) DISTRICT.
• SITE AREA:	12,040 S.F. (0.276 ACRES)
• BUILDING FOOTPRINT:	7,681 S.F.
MIN. REQUIRED SETBACKS:	
• FRONT:	8'-0" for levels 1&2. 20'-0" Second levels
• REAR:	10'-0"
• SIDES:	10'-0"
• INTERIOR:	10'-0"
PROPOSED SETBACKS: (MEDITERRANEAN STYLE DESING)	
• FRONT:	8'-0" for levels 1&2. 20'-0" Second levels
• REAR:	10'-4" (PROPOSED)
• SIDES:	
• INTERIOR:	10'-2" (PROPOSED)
MAXIMUM ALLOWED SQUARE FOOT FLOOR AREA:	
• ALLOWED:	
MAXIMUM FAR 1.4	= 16,856 S.F.
MEDITERRANEAN STYLE (BONUS) 0.5	= 6,020 S.F.
TOTAL FAR (1.4+0.5 = 1.9)	= 22,876 S.F.
• PROVIDED:	
GROUND FLOOR PLAN	375 S.F.
SECOND FLOOR PLAN	5,982 S.F.
THIRD FLOOR PLAN	5,982 S.F.
FOURTH FLOOR PLAN	5,982 S.F.
FIFTH FLOOR PLAN	4,097 S.F.
SIXTH FLOOR PLAN	409 S.F.
TOTAL	22,827 S.F.

MAX. DENSITY = 40 UNITS / ACRE	
12,040 S.F. = 0.276 ACRES	40 UNITS X 0.276 / ACRES = 11 UNITS

MEDITERRANEAN STYLE DESIGN HANDBOOK (Level 2 Bonuses)				
Future Land Use Map Designation	Bonus Floor/Feet	Bonus FAR	Bonus Density (25% increase)	Ground Area Coverage
Residential Land Uses (Multi-Family)				
Medium Density	2 Floors/27 Feet	0.5 FAR	10 Units/Acre	Not required

ARCHITECTURAL AND PUBLIC REALM STANDARDS		
Reference Number	Type	Qualifications
2	Building rooflines	
3	Building setbacks	
4	Building towers	
6	Lighting of landscaping	
9	Paver treatments	
10	Pedestrian amenities	a. Benches. b. Expanded sidewalk beyond the property line. c. Freestanding information kiosk (no advertising shall be permitted) e. Refuse containers.

LEGAL DESCRIPTION:

II-LEGAL DESCRIPTION AND PROPERTY ADDRESS:

LOTS 4 & 5, IN BLOCK 1, OF REVISED PLAT OF GABLES SECTION "K", ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 30 AT PAGE 60, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

PROPERTY ADDRESS: 341 MADEIRA AVE. CORAL GABLES, FL 33134

FOLIO #: 03-4108-005-0020

II-LEGAL DESCRIPTION AND PROPERTY ADDRESS:

LOTS 6 & 7, IN BLOCK 1, OF CORAL GABLES AMENDED PLAT OF SECTION "K", ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 30 AT PAGE 60, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

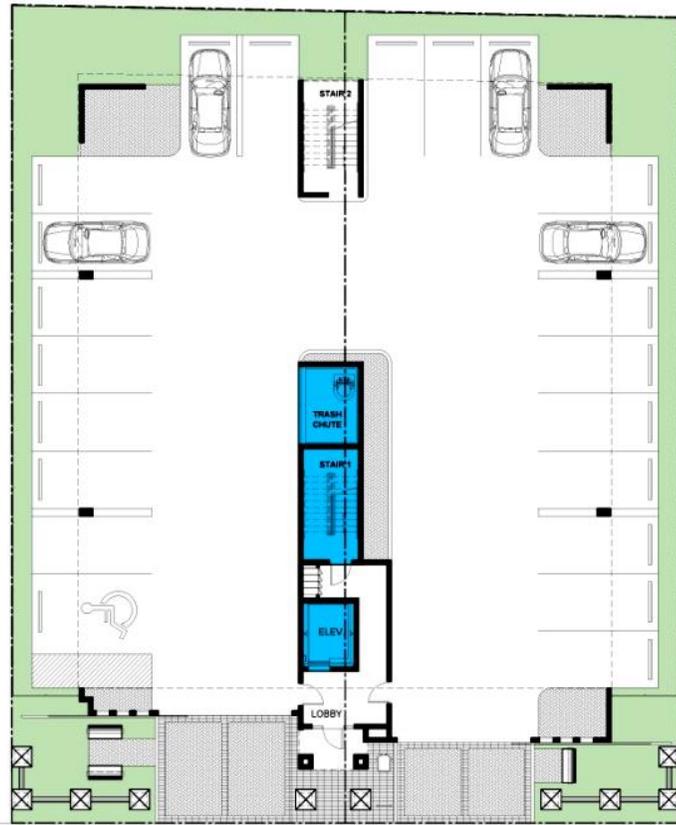
PROPERTY ADDRESS: 335 MADEIRA AVE. CORAL GABLES, FL 33134

FOLIO #: 03-4108-005-0030

PARKING		
	ALLOWED/REQUIRED	PROVIDED
Two (2) PARKING SPACE PER UNIT	22	22
TOTAL 11 UNITS @ 2		
TOTAL ACCESSIBLE PARKING: 2% OF TOTAL 11 SPACES	0.22	1 (INCLUDED IN TOTAL)

BUILDING HEIGHT	
ALLOWED/REQUIRED	PROVIDED
3rd LEVELS (45'-0") + Bonus (2nd level - 27'-0") = 72'-0" Max.	66'-11" Top of Beam.

UNIT TYPES		
APARTMENT	LEVEL	QUANTITY
TYPE A (Two Bedroom)	SECOND	1
TYPE B (Two Bedroom)	THIRD & FOURTH	2
TYPE C (Two Bedroom)	SECOND	1
TYPE D (Two Bedroom)	THIRD, FOURTH & FIFTH	3
TYPE E (Two Bedroom)	SECOND, THIRD, FOURTH & FIFTH	4
TOTAL UNITS:		11



1 GROUND FLOOR PLAN
SCALE: 1/8" = 1'-0"

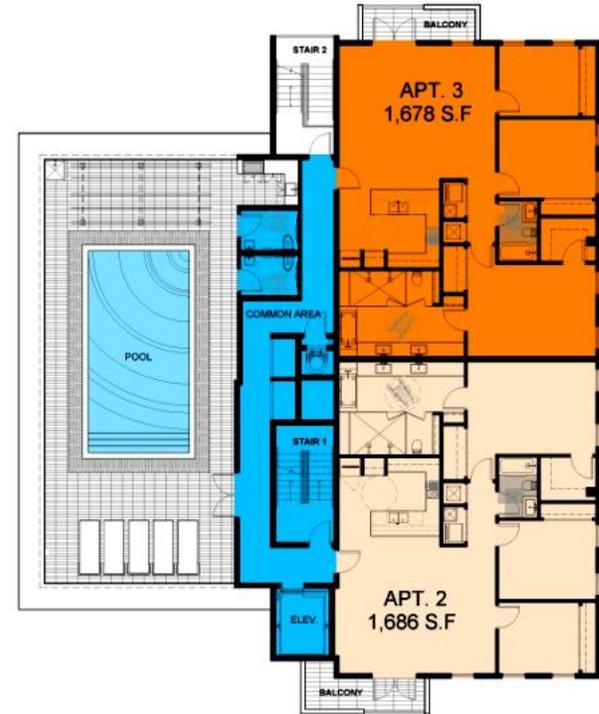


2 SECOND LEVEL FLOOR PLAN
SCALE: 1/8" = 1'-0"

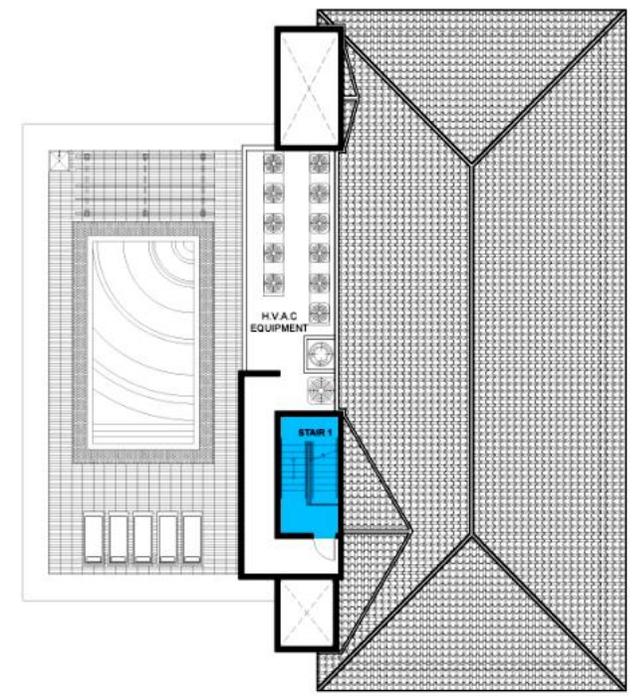


3 THIRD & FOURTH LEVEL FLOOR PLAN
SCALE: 1/8" = 1'-0"

TOTAL SITE	12,040.00
BUILDING FOOTPRINT	7,681.80
GROUND FLOOR PLAN	388.00
COMMON AREAS	388.00
SECOND FLOOR PLAN	6,012.00
APT.-1	1,880.00
APT.-2	1,686.00
APT.-3	1,678.00
COMMON AREAS	768.00
THIRD FLOOR PLAN	6,012.00
APT.-1	1,880.00
APT.-2	1,686.00
APT.-3	1,678.00
COMMON AREAS	768.00
FOURTH FLOOR PLAN	6,012.00
APT.-1	1,880.00
APT.-2	1,686.00
APT.-3	1,678.00
COMMON AREAS	768.00
FIFTH FLOOR PLAN	4,255.00
APT.-2	1,686.00
APT.-3	1,678.00
COMMON AREAS	891.00
ROOF DECK	173.00
STAIR	173.00
FAR (REQUIRED)	22,876.00
FAR (PROPOSED)	22,852.00
RENTABLE AREA	19,096.00



4 FIFTH LEVEL FLOOR PLAN
SCALE: 1/8" = 1'-0"



5 SIXTH LEVEL FLOOR PLAN
SCALE: 1/8" = 1'-0"

VILLA MADEIRA . Zoning Data.

335-341 MADEIRA AVE. CORAL GABLES.
MIAMI, FLORIDA 33134

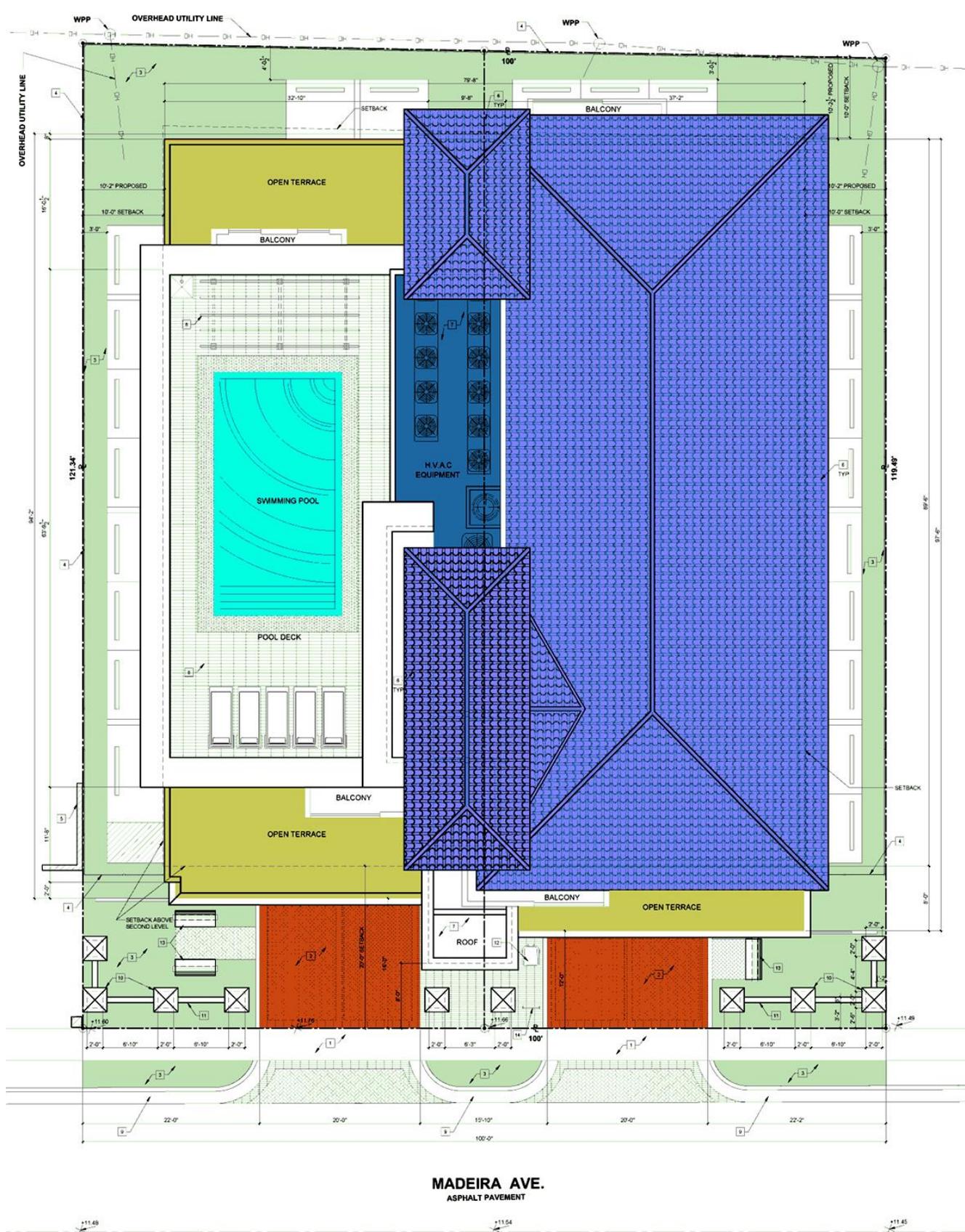
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ARCHITECTURAL GROUP

Scale: N.T.S.

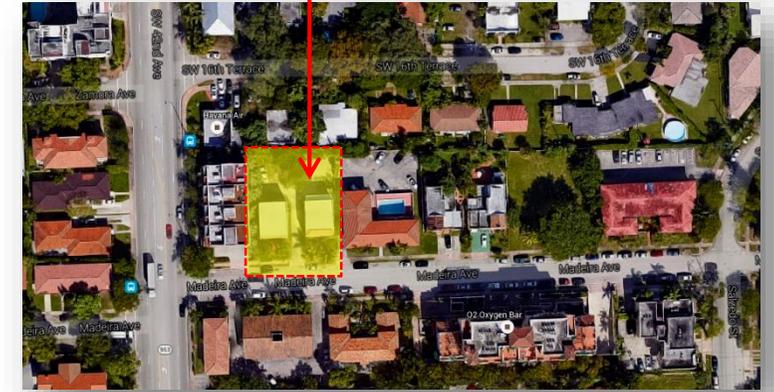




MADEIRA AVE.
ASPHALT PAVEMENT

2 SITE PLAN
SCALE: 3/16" = 1'-0"

PROJECT LOCATION



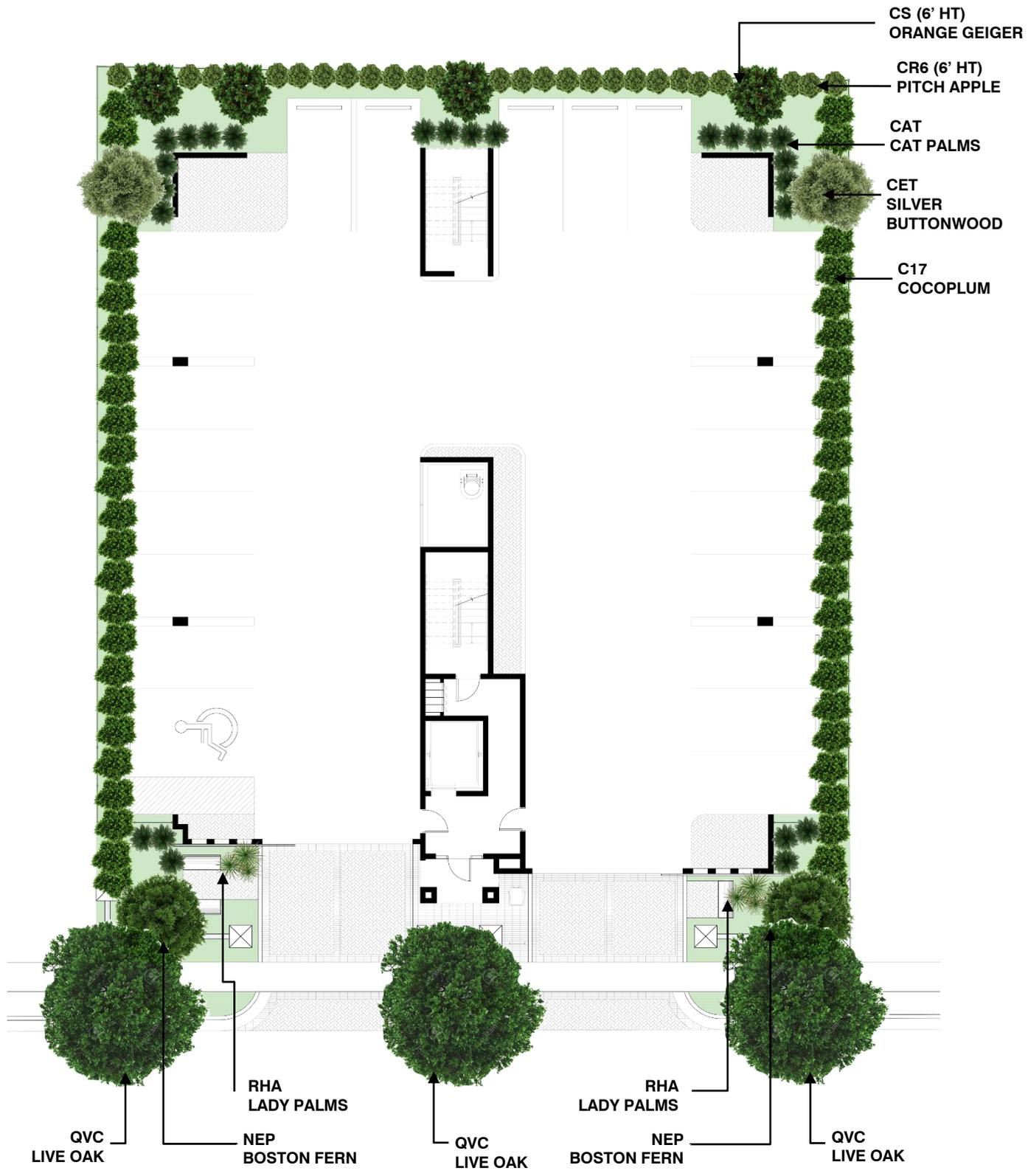
LOCATION SKETCH



LEGEND

- SITE OPEN AREA
- OPEN TERRACE
- SITE GARAGE ENTRANCE
- H.V.A.C EQUIPMENT
- SITE POOL
- ROOF





PLANTLIST			
BTPL NATIVE	*	NAME	BOTANICAL NAME SPECIFICATION
PROPOSED TREES			
CET	YES	2 SILVER BUTTONWOOD	Conocarpus erac. "baricava" 10' x 6', STANDARD
CS	YES	4 ORANGE GEIGER	Cordia sebestena FG, 8' x 8', 2' cal.
MF	YES	2 SIMPSON'S STOPPER	Myrsine fragrans 10' x 6', max. 5 lbs. # o.a. ft.
QVC	YES	3 LIVE OAK "Cathedral"	Quercus virginiana "Cathedral" 16' x 1' spr, 4' cal, 6' c.t.
PALMS			
VPS	2	MONTGOMERY PALMS	Veitchia montgomeryana TPL TK, FG, 14' o.a., full head
SHRUBS			
CIT	YES	100 COCOPLUM	Chydobalanus icaco 1 GAL, 36" x 24" full, 24" o.c.
CR6	40	PITCH APPLE	Cleome rosea 6' H, 36" O.C., FTB.
PO5	24	PODOCARPUS HEDGE	Podocarpus spp. 18 gal, 36" ht, 36" o.c.
ACCENT PLANTS AND GROUNDCOVERS			
CAT	34	CAT PALMS	Chamaedorea cataractarum 15 gal, 2' x 3', 30" o.c.
FG3	60	'GREEN ISLAND' FIGS	Ficus 'green island' 3 gal, 18" x 18", 18" o.c., full
NEP	YES	100 BOSTON FERN	Nephtrolepis exaltata 1 gal, 2' x 12" full, 15" o.c.
FTF	YES	34 RHITAL FERN	Nephtrolepis fasciata 'Furcata' 3 gal, 18" x 18" full, 24" o.c.
RHA	2	LADY PALMS	Rhap's exaltata 5' o.a., FTB, sun acclimated
CFU	4	CONFEDERATE JASMINE	Trachelospermum jasminoides 3 gal, 24" x 18", full, 2 leaders
SOD			
FLO	5000 SF.	'FLORATA' ST. AUGUSTINE	Stenotaphrum secundatum SOLID 600, price per sf.
TOPSOIL:			
		TOPSOIL BAND MIX	50:50 TOPSOIL BAND MIX, SPREAD IN PLACE
		10 C.Y.	TREES, PALMS, SHRUBS AND GROUNDCOVERS
		3 C.Y.	AREA TO BE SOODED WITH A 2" DEPTH OF TOPSOIL, SPREAD IN PLACE
MULCHING:			
		16 C.Y. 1/2"	'MINI BARK' NUGGET MULCH 3" DEPTH, SPREAD IN PLACE, ATLAS FEAT AND BOIL
PROVIDE SAMPLE FOR APPROVAL PRIOR TO INSTALLATION			
--- TOPSOIL, SOD AND MULCH QUANTITIES SHOWN ARE APPROXIMATE. CONTRACTOR TO PROVIDE A UNIT PRICE PER UNIT AND WILL BE PAID ON THAT UNIT PRICE BASIS UPON FINAL INSPECTION AND APPROVAL.			

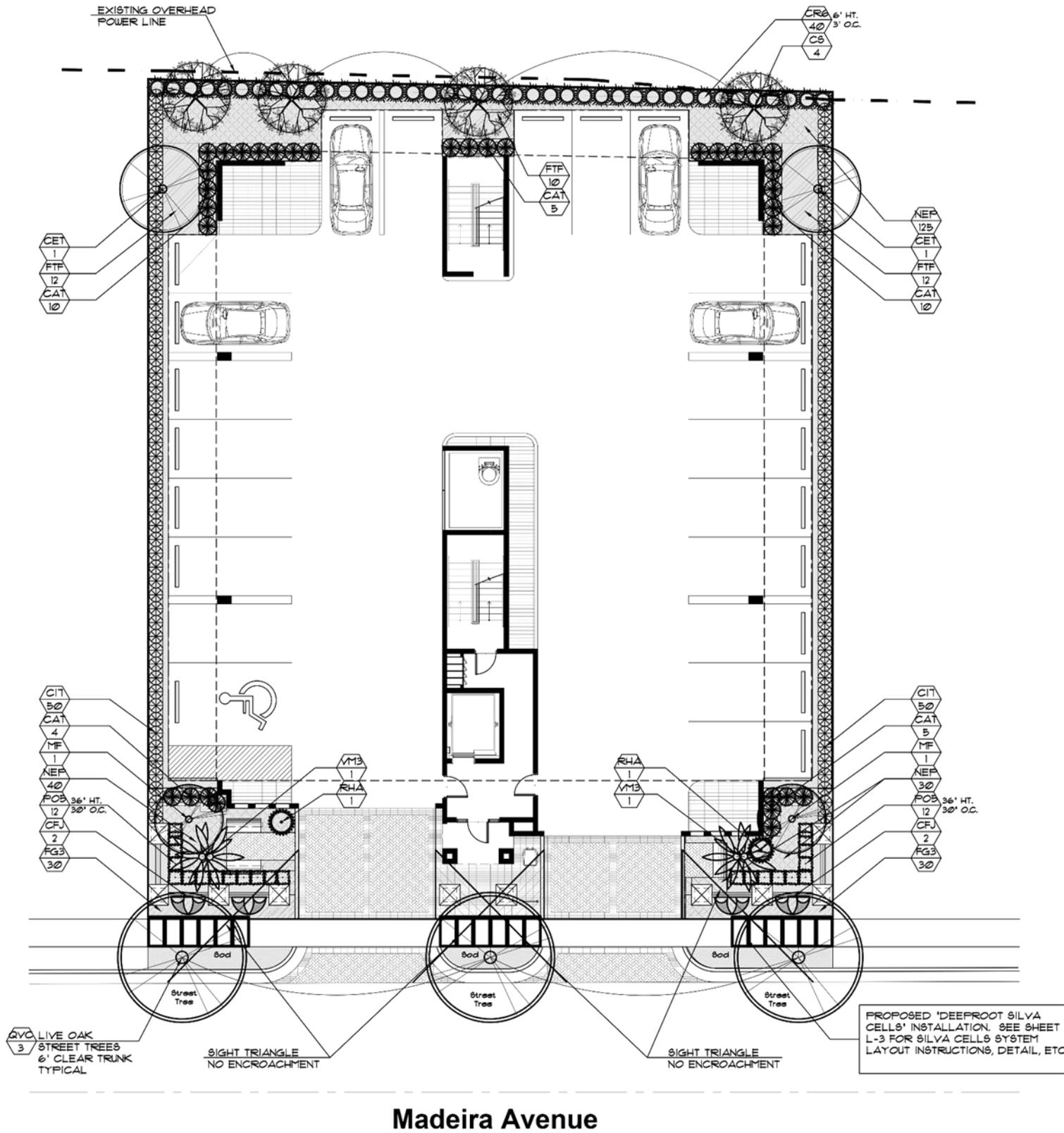
ARTICLE 5 SECTIONS 5-1104, 5-1105 STREET TREE TABULATIONS		
	REQUIRED	PROVIDED
MADEIRA AVE. 60 L.F. - 1 TREE / 20 L.F. = 3 TREES (100 L.F. - 40 L.F. DRIVEWAYS)	3	3 3 QVC
TOTALS:	3	3

ARTICLE 5 SECTION 5-1105-C LANDSCAPE OPEN SPACE		
	REQUIRED	PROVIDED
SITE INFORMATION 335 MADEIRA AVE. 6,050 SF. 341 MADEIRA AVE. 6,050 SF. TOTAL 12,100 SF. 0.28 ACRES		
8 REQUIRED LOT TREES (28 TREES PER ACRES)	7 TREES	8 2 CET + 4 CS + 2 MF
SHRUBS	70 SHRUBS	164
NOTES: PER CITY OF CORAL GABLES SECTION 5-1105-C, "A MINIMUM OF TWENTY EIGHT (28) LARGE SHADE TREES." TREES SHOWN FOR THIS REQUIREMENT ARE IN COMPLIANCE WITH 'RIGHT TREE RIGHT PLACE' COMPONENTS AS LARGE SHADE TREES WOULD NOT BE APPROPRIATE FOR THE NARROW SPACES OF THIS DEVELOPMENT. ADDITIONAL COMPENSATION TO BE DETERMINED BY THE CITY OF CORAL GABLES TO MITIGATE ANY DEFICIT. A WRITTEN TREE REMOVAL PERMIT IS REQUIRED FROM THE CITY OF CORAL GABLES PRIOR TO REMOVAL OF ANY TREES FROM THIS SITE. SEE LANDSCAPE PLANS FOR PROPOSED PLANTINGS, LANDSCAPE LEGEND, DETAILS, NOTES, ETC. "THE LANDSCAPE HAS BEEN PROVIDED ACCORDING TO THE CORAL GABLES ZONING CODE, ARTICLE 5, DIVISION 11, LANDSCAPE SECTION."		

VILLA MADEIRA. RENDERED PLAN. PLANT LIST
335-341 MADEIRA AVE. CORAL GABLES.
MIAMI, FLORIDA 33134

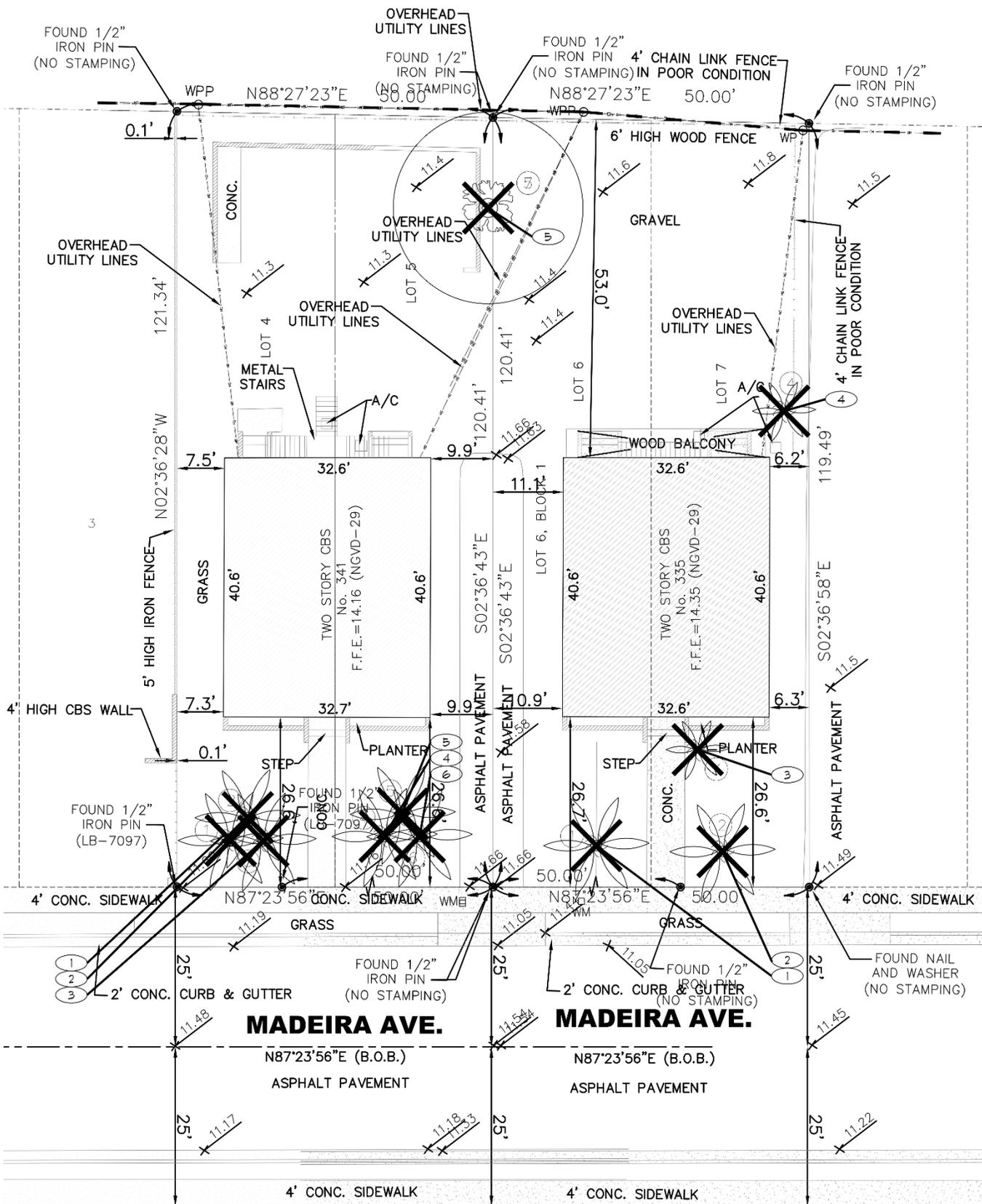
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MATERIALS LIST			
SYM.	NATIVE	NAME	SPECIFICATION
"DEEPROOT" SILVA CELLS			
18		SILVA CELLS	18" X SILVA CELL 2' TO PROVIDE 12" DEPTH PER MANUFACTURER'S SPECIFICATIONS.
2 c/y. 50:50 MIX FOR PLANTING-PER ATLAS PEAT AND SOIL.			
SEE ADDITIONAL DETAILS AND SPECIFICATIONS FOR "DEEPROOT SILVA CELLS" ON SHEETS L-3			
REFER TO CIVIL DRAWINGS FOR CONSTRUCTION DETAILS FOR SUBGRADE, PAVING AND DRAINAGE, FINAL GRADING, CURBING, SIDEWALK CONSTRUCTION, ETC.			
ALL LAYOUT, DIMENSIONING, ETC. SHALL BE PER APPROVED CIVIL DRAWINGS.			
CONTRACTOR SHALL MAKE PROVISIONS FOR ALL EXISTING AND PROPOSED UTILITIES, (ABOVE AND BELOW GROUND) AND SHALL BE RESPONSIBLE TO PROTECT THROUGHOUT THE CONSTRUCTION PROCESS.			

Madeira Avenue



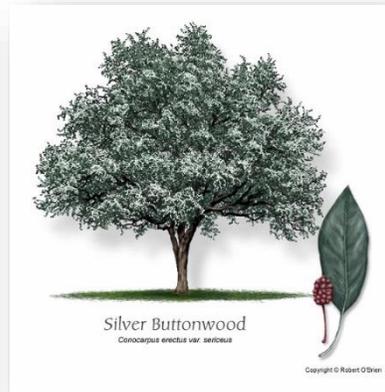
336, 341 MADEIRA AVE., CORAL GABLES, FL. 33134 2/17/2016											
NO.	SYM	COMMON NAME	BOTANICAL NAME	HEIGHT FT.	SPREAD FT.	DBH Inches	CANOPY S.F.	STATUS	CANOPY LOSS S.F.	2X SPECIMEN LOSS S.F.	COMMENTS
1	CN	COCONUT PALM	<i>Cocos nucifera</i>	12	18	12	254	REMOVE	254		
2	CN	COCONUT PALM	<i>Cocos nucifera</i>	12	18	12	254	REMOVE	254		
3	PE	SOLTARE PALM	<i>Pythosperma elegans</i>	15	8	3	50	REMOVE	50		
4	PE	SOLTARE PALM	<i>Pythosperma elegans</i>	6	5	4	20	REMOVE	20		
5	TA	TROPICAL ALMOND	<i>Terminalia catappa</i>	30	30	36	707	REMOVE	707		
341 MADEIRA AVE., CORAL GABLES, FL. 33134											
1	SR	QUEEN PALM	<i>Syragrus romanzoffiana</i>	24	15	8	177	REMOVE	177		
2	SR	QUEEN PALM	<i>Syragrus romanzoffiana</i>	24	15	8	177	REMOVE	177		
3	SR	QUEEN PALM	<i>Syragrus romanzoffiana</i>	24	15	8	177	REMOVE	177		
4	SR	QUEEN PALM	<i>Syragrus romanzoffiana</i>	24	15	8	177	REMOVE	177		
5	SR	QUEEN PALM	<i>Syragrus romanzoffiana</i>	24	15	8	177	REMOVE	177		
6	SR	QUEEN PALM	<i>Syragrus romanzoffiana</i>	24	15	8	177	REMOVE	177		
TOTALS									2,347	2,347	0
INITIAL LOCATIONS, NUMBERING AND IDENTIFICATION AS PROVIDED BY SURVEYOR IN-FIELD OBSERVATIONS AND MINOR CORRECTIONS TO SURVEY ON FEBRUARY 17, 2016 PROHIBITED SPECIES ARE NOT CALCULATED FOR TREE CANOPY											

A WRITTEN TREE REMOVAL PERMIT IS REQUIRED FROM THE CITY OF CORAL GABLES PRIOR TO REMOVAL OF ANY TREES FROM THIS SITE.

SEE LANDSCAPE PLANS FOR PROPOSED PLANTINGS, LANDSCAPE LEGEND, DETAILS, NOTES, ETC.

- NOTES:**
- A WRITTEN TREE REMOVAL PERMIT IS REQUIRED FROM THE LOCAL GOVERNING AGENCY PRIOR TO REMOVAL OF ANY TREES OR PALMS FROM THE SITE.
 - SEE LANDSCAPE PLANS FOR PROPOSED LANDSCAPE PLANTINGS, LANDSCAPE LEGEND, PLANTLIST, SPECIFICATIONS, DETAILS, ETC.
 - THE CONTRACTOR SHALL REMOVE ALL TREES AND HEDGES AS PER PLANS AND AS APPROVED BY THE LOCAL GOVERNING AGENCIES (THE CITY OF CORAL GABLES). TREE, PALM AND HEDGE MATERIAL SHALL INCLUDE ALL TRUNKS, STUMPS AND ROOTS. ALL EXCESS DEBRIS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT AN APPROVED SITE. ALL HOLES AND DEPRESSIONS SHALL BE BACKFILLED WITH CLEAN, APPROVED BACKFILL.
 - LOCATIONS SHOWN FOR THE EXISTING TREES AND PALMS ARE APPROXIMATE. EXACT LOCATIONS ARE TO BE FIELD VERIFIED BY A REGISTERED LAND SURVEYOR (RLS) PRIOR TO ANY PAVING OR ANY OTHER SUCH WORK WHICH WILL BE IMPACTED BY ANY TREES OR PALMS TO REMAIN.
 - ALL INVASIVE EXOTIC VEGETATION AND ANY ANY OTHER PLANTS LISTED AS CATEGORY I, ON THE FLORIDA EXOTIC PEST PLANT COUNCIL'S LIST OF FLORIDA'S MOST INVASIVE SPECIES SHALL BE REMOVED FROM THE SITE AND MAINTENANCE SHALL GUARANTEE CONTROL OF RE-INVASION.

PROPOSED TREES



SILVER BUTTONWOOD



ORANGE GEIGER

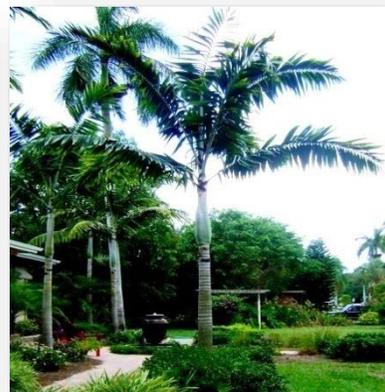


SIMPSON'S STOPPER



LIVE OAK "CATHEDRAL"

PROPOSED PALMS



MONTGOMERY PALMS

PROPOSED SHRUBS



COCOPLUM



PITCH APPLE



PODOCARPUS HEDGE

PROPOSED ACCENT PLANTS & GROUNDCOVERS



CAT PALMS



"GREEN ISLAND" FICUS



BOSTON FERN



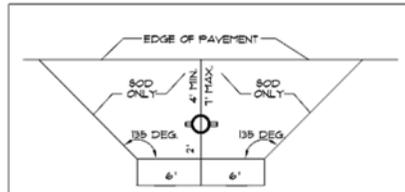
FISHTAIL FERN



LADY PALMS



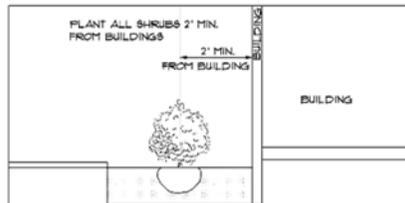
CONFEDERATE JASMINE



REQUIREMENTS APPLY TO FIRE HYDRANTS, SWAYE CONNECTIONS AND ANY OTHER FIRE EQUIPMENT FOR UTILIZING FIRE HOSE, ON PUBLIC OR PRIVATE PROPERTY. BY THE AUTHORITY OF THE SOUTH FLORIDA FIRE PREVENTION CODE SECTION 5712 THIS DIAGRAM SHALL APPEAR ON ALL LANDSCAPE PLANS PRIOR TO APPROVAL. THE CLEAR ZONE SHALL BE FREE OF LANDSCAPE (EXCEPT BOD), MAILBOXES, PARKING, LAMP-POSTS AND ALL OTHER OBJECTS. EXCEPTIONS: OTHER FIRE FIGHTING EQUIPMENT OR TRAFFIC POSTS TO PREVENT FIRE FIGHTING EQUIPMENT.

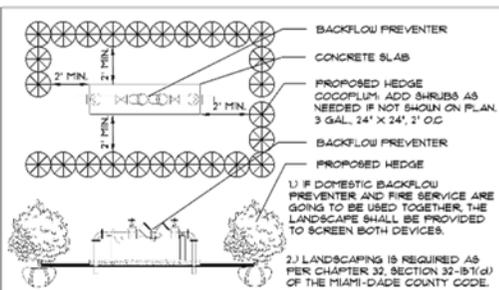
FIRE HYDRANT CLEAR ZONE

N.T.S.



SHRUB PLANTINGS BUILDING DETAIL

N.T.S.



TYPICAL PLANTING SCREEN FOR ABOVE-GROUND UTILITIES

N.T.S.

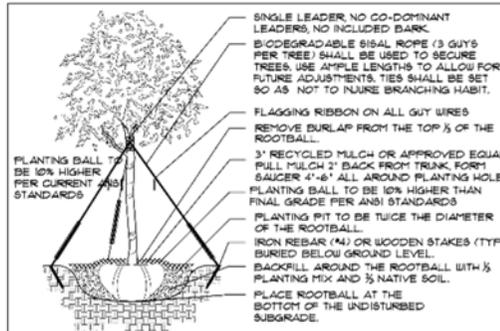
PLANTING SOIL:

NOTE: ALL LANDSCAPED AREAS INCLUDING LANDSCAPE ISLANDS SHALL BE EXCAVATED TO A DEPTH OF 2.0 FEET FOR REMOVAL OF ALL COMPACTED MATERIAL, LIMEROCK, ETC. AND BACKFILLED WITH A CLEAN, APPROVED BACKFILL. 50:50 TOPSOIL SHALL BE APPLIED TO A DEPTH OF 6" FOR ALL PLANTING BEDS AND A 2" DEPTH FOR ALL 50D AREAS. THE CONTRACTOR SHALL CALCULATE AND PROVIDE A UNIT AND AN EXTENDED PRICE FOR THIS ITEM.

FERTILIZATION:

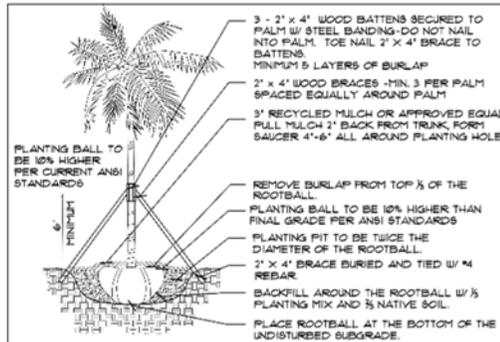
ONE COMPLETE APPLICATION OF GRANULAR FERTILIZER SHALL BE APPLIED PRIOR TO FINAL ACCEPTANCE AND APPROVAL BY THE LANDSCAPE ARCHITECT. AN ADDITIONAL FERTILIZATION PROGRAM SHALL BE SUBMITTED TO THE PROJECT MANAGER FOR AN ANNUAL FERTILIZATION APPLICATION PROGRAM. FERTILIZERS SHALL BE PER ATLANTIC AFEC FERTILIZER + CHEMICAL (AFEC) OR AN APPROVED EQUAL. CONTRACTOR SHALL SUBMIT FERTILIZATION AS A SEPARATE ITEM IN THE BID.

FERTILIZATION SHALL BE AS FOLLOWS: TREES: 12-06-08 (AFEC # 5231) RATE: 15 LBS/INCH OF DIA. * DBH PALMS: 12-24-12 (AFEC # 1216) RATE: 15 LBS/INCH OF DIA. * DBH SHRUBS AND GROUNDCOVERS: 12-06-08 AFEC # 5231) RATE: 15 OZ./FT. OF HEIGHT



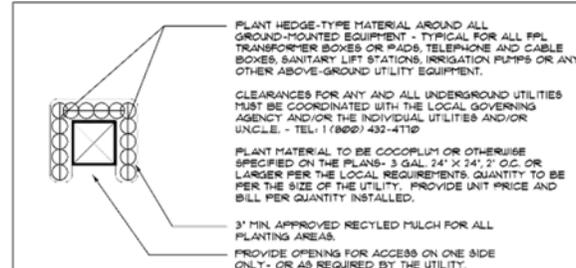
TREE PLANTING DETAIL

N.T.S.



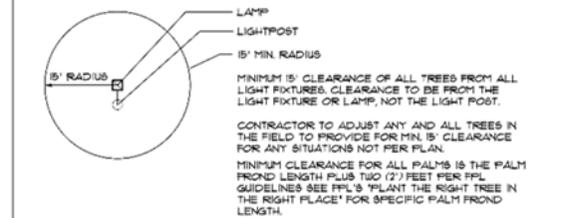
PALM PLANTING DETAIL

N.T.S.



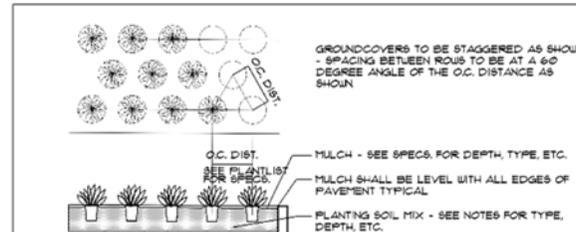
TYPICAL PLANTINGS FOR GROUND-MOUNTED EQUIPMENT

N.T.S.



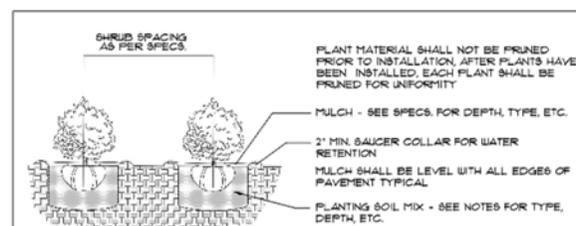
MINIMUM TREE CLEARANCE FROM LIGHT FIXTURES

N.T.S.



GROUNDCOVER DETAIL

N.T.S.



SHRUB PLANTING DETAIL

N.T.S.

LANDSCAPE NOTES

- ALL PLANT MATERIAL SHALL BE FLORIDA NO. 1 GRADE OR BETTER.
- CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE LOCATION OF AND AVOID AND PROTECT UTILITY LINES, BURIED CABLES, AND OTHER UTILITIES.
- TREE, PALM, ACCENT AND BED LINES ARE TO BE LOCATED IN THE FIELD AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- ALL PLANTING SOIL SHALL BE 50:50 TOPSOIL: SAND MIX, FREE OF CLAY, STONES, ROCKS, OR OTHER FOREIGN MATTER. THIS SPECIFICATION INCLUDES ALL BACKFILL FOR BEDS AND OTHER LANDSCAPE AREAS.
 - SODDED-LAWN AREAS
 - 2\"/>
- THE SITE CONTRACTOR SHALL BE RESPONSIBLE TO BRING ALL GRADES TO WITHIN 2\"/>
- THE LANDSCAPE CONTRACTOR SHALL CALCULATE AND SUBMIT AN ITEMIZED PRICE FOR THE 2\"/>
- CONTRACTOR SHALL COORDINATE WITH THE IRRIGATION CONTRACTOR AND LEAVE PROVISIONS FOR ALL, INCLUDING UNDERGROUND UTILITY LINE LOCATIONS DIAL 811 "NO CUTS" AS REQUIRED BY LAW.
- ALL PLANTING BEDS SHALL BE MULCHED TO A DEPTH OF 3\"/>
- 50D SHALL BE ARGENTINE "BAHIA" OR ST. AUGUSTINE "FLORATAN" AS SHOWN ON THE PLANS, STRONGLY ROOTED, FREE FROM WEED, FUNGUS, INSECTS AND DISEASE. CONTRACTOR SHALL 50D ALL AREAS AS INDICATED ON THE PLAN OR AS DIRECTED. PAYMENT SHALL BE DETERMINED BY THE TOTAL MEASURED SODDED AREAS X THE UNIT PRICE SUBMITTED AND FIELD VERIFIED.
- 50D SHALL BE INSTALLED IN ACCORDANCE WITH THE SPECIFICATIONS AS DEFINED BY FOOT. 50D SHALL CARRY A 9-MONTH WARRANTY.
- ALL TREES, PALMS, SHRUBS AND GROUNDCOVERS SHALL CARRY A ONE-YEAR WARRANTY FROM THE DATE OF FINAL ACCEPTANCE.
- ALL TREES AND PALMS SHALL BE STAKED PER ACCEPTED STANDARDS BY THE FLORIDA NURSERYMEN & GROVERS LANDSCAPE ASSOCIATION (FNGLA). THERE SHALL BE ONE FINAL INSPECTION FOR APPROVAL BY THE PRESIDING GOVERNING AGENCY. CONTRACTOR SHALL INSURE THAT THE PLANS, DETAILS, SPECIFICATIONS AND NOTES HAVE BEEN ADHERED TO AND THAT THE LANDSCAPE AND IRRIGATION INSTALLATION IS COMPLIANT TO ALL ITEMS AS DIRECTED ON THE PLANS PRIOR TO SCHEDULING OF THE FINAL INSPECTION.
- THE PLANT LIST IS INTENDED ONLY AS AN AID TO BIDDING. ANY DISCREPANCIES FOUND BETWEEN THE QUANTITIES ON THE PLAN AND PLANT LIST, THE QUANTITIES ON THE PLAN SHALL BE HELD VALID.
- IRRIGATION SHALL PROVIDE FOR A 100% COVERAGE WITH A 100% OVERLAP, AUTOMATIC SYSTEM W/ RAIN MOISTURE SENSOR ATTACHED TO CONTROLLER. ALL FLORIDA BUILDING CODE APPENDIX "F" IRRIGATION REQUIREMENTS SHALL BE STRICTLY ADHERED TO FOR INSTALLATION AND PREVAILING WATER MANAGEMENT DISTRICT RESTRICTIONS AND REGULATIONS SHALL BE IN COMPLIANCE FOR POST-INSTALLATION WATERING SCHEDULES.
- EXISTING IRRIGATION SYSTEM (IF APPLICABLE) SHALL BE RETROFITTED TO COMPLY WITH THOSE SPECIFICATIONS AS OUTLINED ABOVE.
- CONTRACTOR SHALL PROVIDE A WATER TRUCK DURING PLANTING TO INSURE PROPER WATERING-IN DURING INSTALLATION AND WILL BE RESPONSIBLE FOR CONTINUAL WATERING UNTIL FINAL ACCEPTANCE BY THE OWNER.
- ALL EXISTING TREES, PALMS AND PLANT MATERIAL TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION. CONTRACTOR SHALL INSTALL PROTECTIVE BARRIERS SUCH AS "TENAX" PROTECTIVE FENCING OR AS SHOWN ON THE DETAILS TO BE INSTALLED AT THE BEGINNING OF THE PROJECT. BARRIERS SHALL BE LOCATED TO INCLUDE THE DRILLLINE OF THE TREES, PALMS AND PLANT MATERIAL WHERE POSSIBLE. THE CONTRACTOR SHALL TAKE EXTRA CAUTION TO PREVENT ANY DAMAGE TO THE TRUNK, BRANCHES, ROOTS, ROOT ZONE AREAS AND ADJACENT GRADES.
- EXISTING TREES AND PALMS TO REMAIN SHALL BE TRIMMED PER ANSI-300 STANDARDS. SUPERVISION OF THE TRIMMING SHALL BE PERFORMED BY AN ISA-CERTIFIED ARBORIST.
- ALL EXISTING TREES AND PALMS SHALL BE "LIFTED AND THINNED" TO PROVIDE FOR AN 8\"/>
- REMOVAL OF ANY TREES OR PALMS WILL REQUIRE A WRITTEN "TREE REMOVAL PERMIT" FROM THE LOCAL GOVERNING AGENCY PRIOR TO REMOVAL.
- ALL PLANTINGS IN NON-IRRIGATED AREAS, I.E. RIGHTS OF WAYS, SVALES, ETC. SHALL BE WATERED-IN THOROUGHLY AND CONTINUED TO BE WATERED THROUGHOUT UNTIL C.O. ACCEPTANCE. COORDINATE WITH OWNER AND PROJECT MANAGER TO PROVIDE POST C.O. WATERING TO INSURE PLANT ESTABLISHMENT FOR A MINIMUM OF ONE YEAR AFTER CERTIFICATE OF OCCUPANCY ACCEPTANCE.

A WRITTEN TREE REMOVAL PERMIT IS REQUIRED FROM THE CITY OF CORAL GABLES PRIOR TO REMOVAL OF ANY TREES FROM THIS SITE.



Silva Cell system layout is not complicated, but it does require general product orientation. Accordingly, this document is divided into three sections – General Principles, Sizing a Silva Cell System, and Layout Guidelines. An understanding of each of these sections is critical for the successful integration of the Silva Cell into your site plans. Use these guidelines with the Standard Silva Cell details.

GENERAL PRINCIPLES

- The Silva Cell system is designed to be installed beneath paved areas such as sidewalks, plazas, and parking bays. Different pavement types (concrete, asphalt, or pavers) require different pavement profiles in order to meet H-20 loading requirements. The Silva Cell system is not designed to support high speed traffic loads. Consult our standard details for more information.
- Understand how utilities, soils, water table and structures might affect your Silva Cell layout. Silva Cells can often accommodate existing and proposed utilities and structures, but planning for this integration is critical for a successful layout and installation. Share your Silva Cell layout with the project Civil Engineer in order to work around site and utility conflicts early in the process.
- Silva Cells allow growth of large trees that, with adequate soil volumes, proper installation and care, will reach its true mature size. This tree will grow to have a large canopy and a significant trunk flare that your design should accommodate.

- Wherever possible, link Silva Cell soil volumes to each other or to existing nearby soil volumes such as parks or lawns.

SIZING A SILVA CELL SYSTEM

1. Determine if the Silva Cell system will be used to grow big trees or grow big trees and treat stormwater.
 - Silva Cells are used to provide soil to grow large trees, but can also be used to treat stormwater. Determine your project goals for using Silva Cells and begin to think about how to size and design your system accordingly.
 - For large trees, consider how the Silva Cell system can use a passive irrigation system. If passive irrigation is not a possibility, make sure to include irrigation in your plans.
 - For large trees and stormwater, consider how to distribute the stormwater throughout the Silva Cell system and tie into overall site drainage.
 - See "[Stormwater Schematics](#)" for concepts for managing stormwater in the Silva Cells.

SILVA CELL SYSTEM LAYOUT INSTRUCTIONS



DeepRoot Green
Infrastructure, LLC
530 Washington Street
San Francisco, CA 94111

Tel: 415 781 9700
Toll Free: 800 458 7668
Fax: 415 781 0191

www.deeproot.com
info@deeproot.com

DeepRoot Canada Corp.
#201, 2425 Quebec St.
Vancouver, BC V5T 4L6

Tel: 604 687 0899
Toll Free: 800 561 3883
(Canada Only)
Fax: 604 684 6744

mjames@deeproot.com

DeepRoot UK
43-45 Portman Square
London
W1H 6HN
United Kingdom

Tel: +44 (0) 207 969 2739
Fax: +44 (0) 207 969 2800

steve@deeproot.com

2. Determine the optimal tree size that you would like to achieve on your site.

- See "How Much Soil to Grow a Big Tree" to find a target soil volume for your ideal tree size.

- A simple rule of thumb for target soil volume is to provide 1,000 ft³ (28m³) of soil for a canopy tree and 600 ft³ (17m³) of soil for an understory tree. You can also use a general 2:1 ratio of Soil Volume: Canopy Size. Trees can also share soil volumes, an efficient way to provide rooting volume is to connect planters together. Shared soil volume targets are typically around 600 ft³ (17m³) per overstory tree.

3. Determine the volume of suitable soil available outside of the Silva Cell system.

- Make your tree openings as large as possible. Due to lack of infrastructure, this is the cheapest soil available. Large tree openings will also accommodate the size of a mature tree.

- Wherever possible, link Silva Cell soil volumes to each other or to existing nearby soil volumes, such as parks or lawns.

- Calculate the Available Soil Volume in the area of work, including available soil in the tree openings themselves, as well as adjacent open space that the Silva Cells can link to like parks, lawns, etc.

4. Determine how many Silva Cells are needed to meet the target soil volume.

- Each Silva Cell holds approximately 10 ft³ (0.28 m³) of soil.

- Target Soil Volume = (Available Soil Volume + Soil in Silva Cells)

For example: The target soil volume is 1,000 ft³ (28m³). Each tree has a 4'x4' tree opening, and the Silva Cell system will be 3-frames deep. The depth of planting media in the Cells (and adjacent tree opening) would be approximately 3.75'.

$$3.75' \times 4' \times 4' = 60 \text{ ft}^3 (1.7\text{m}^3) \text{ in the tree opening}$$

$$1,000 \text{ ft}^3 - 60 \text{ ft}^3 = 940 \text{ ft}^3 \text{ needed in Silva Cells}$$

$$940 \text{ ft}^3 / 10 \text{ ft}^3 \text{ per frame} = 94 \text{ Cell frames}$$

$$\text{Since we're using 3-frames deep, } 94 / 3 = 31.3 \text{ decks.}$$

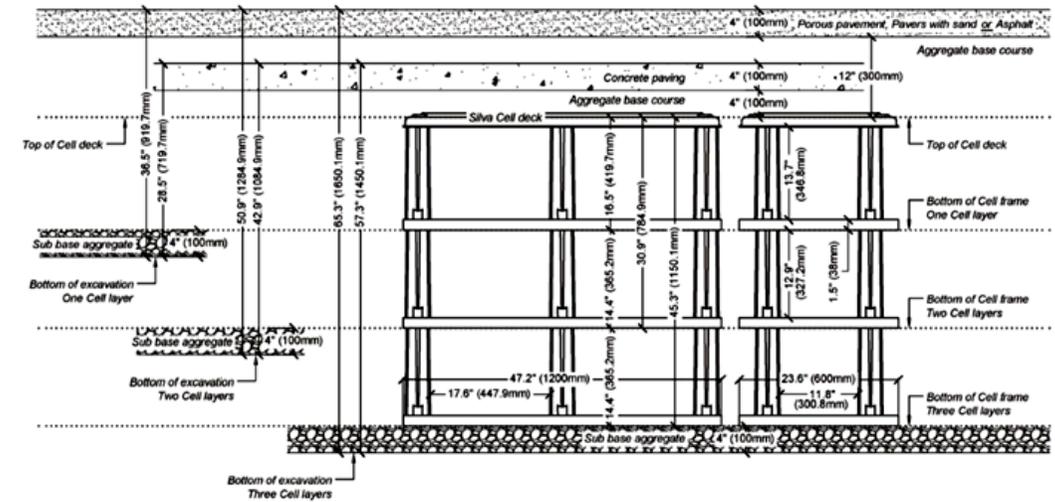
Obviously, we can't have 0.3 Cell decks. So bump this up to:

$$32 \text{ decks} \times 3 \text{ frames deep} = 96 \text{ Cell frames} = 960 \text{ ft}^3 + 60 \text{ ft}^3 = 1,020 \text{ ft}^3 \text{ soil provided}$$

$$32 \text{ decks} \times 3 \text{ frames deep} = 96 \text{ Cell frames} = 26.9 \text{ m}^3 + 1.7 \text{ m}^3 = 28.6 \text{ m}^3 \text{ soil provided}$$

5. If designing the system for on-site stormwater management, determine how many Silva Cells are needed to provide stormwater treatment for your site.

- Bioretention soil is used within the Silva Cells for standard stormwater projects. Volume of filtration or "storage" is based on the water storage within the soil, and the location of any distribution or overflow pipes.



- The static storage of water within the Silva Cells will be roughly equivalent to 20% of the total bioretention soil volume (2 ft³/.05 m³ per frame).

- There are many ways for stormwater to be brought into and out of the Silva Cell system. This is highly project-specific, but we would be happy to discuss your project to help you find the best fit. Please consult with DeepRoot if you have stormwater specific questions.

6. Balance the required soil volume for soil rooting with required soil volume for stormwater treatment.

- Provide approximately 1,000 ft³ (28 m³) of soil for a canopy tree and 600 ft³ (17 m³) of soil for an understory tree. Stormwater treatment volumes will vary based on project location and goals.

CREATING YOUR SILVA CELL PLAN

Standard Silva Cell dimensions are approximately 2' (0.6 m) wide x 4' (1.2 m) long.

- 1-frame stack = 16.5" (419.7 mm) deep
- 2-frame stack = 30.9" (784.9 mm) deep
- 3-frame stack = 45.3" (1,150.6 mm) deep

The standard spacing required between Silva Cells is 1-3" (25 mm x 75 mm). These dimensions should be used for all standard Silva Cell Layouts. As long as you maintain a 1-3" (25 mm x 75 mm) gap between each stack they can be oriented in a layout that best accommodates your site needs.

1. Determine the available area for Silva Cell placement based on existing and proposed site conditions.



- Use current site base data, including (but not limited to) structures, utilities, roads and landscape plans to evaluate all potential conflicts with the Silva Cell system.
 - Determine the depth of your Silva Cell system. This will depend on available space, target soil volume, and budget.
 - Silva Cells can be stacked 1-, 2-, or 3-frames deep. Once you determine the maximum depth that can be accommodated, refer to "[Construction Depths for Silva Cells](#)" to calculate how the Silva Cell system will fit into your site cross-section. Note the pavement profile required to meet H-20 loading and required sub base depth. Account for these materials when calculating the total Silva Cell system depth.
 - Project sites do not have to be of uniform depth to use the Silva Cell.
 - Stacks of Silva Cells 1-, 2- and 3-frames deep can be positioned adjacent to one another in one-frame increments. Altering the depth of the system is a useful way to transition between site depths to accommodate utilities or other features that pass through your area of work.
 - For use on sites with slopes greater than 5%, please contact DeepRoot directly (415 781 9700 or info@deeproot.com).
2. Determine the available area for Silva Cell placement based on setbacks from proposed or existing curbs.

- Draw in the curb setback.
 - The standard setback from face of curb is 18" (45.72 cm). This setback can be used as a general guideline, but project-specific setbacks may vary.
 - In many cases, the Silva Cell system can be installed immediately adjacent to walls, footings, or other site structures that extend below the Silva Cell System. The maximum distance should be 3" (75 mm) from these structures in order to eliminate additional support measures. This circumstance should always be evaluated by a DeepRoot consultant prior to construction. Please see the "Gap Bridging" details in our [Modified Details](#) package for more information.
3. Evaluate the design of the tree openings.
- Consider the dimensions of the tree openings and how easily they will work with the 2' x 4' (0.6 m x 1.2 m) basic Silva Cell size. If tree grates are part of the tree opening design, take into consideration how the Silva Cells can be arranged to provide support to the grate. Tree grate support shall be placed directly above the Silva Cell posts. Remember to plan for the trunk flare of a mature tree when designing the tree opening and choosing an appropriate tree grate.
4. Create a Silva Cell in your landscape plan or use the supplied CAD file.
- Insert the appropriate DeepRoot Silva Cell block into your project Landscape Plan. This

block has been created to-scale and includes required Silva Cell spacing for ease of layout. Verify the size of the Silva Cell after insertion into your drawing for compliance with standard Silva Cell dimensions.

- Silva Cell frames must be placed between 1" and 3" (2.5 cm and 7.6 cm) apart. Spacing between frames does not need to be uniform across the entire site as long as it stays within the 1" to 3" parameters. If Cells need to be placed more than 3" apart for any reason, please refer to our Modified details for information about gap bridging.

5. Place Silva Cells on your site starting with the most restrictive areas.

- Copy the Silva Cell block to fill the approximate Silva Cell area, starting along the curb setback and around tree openings and/or other site obstacles and utilities.

- Copy the Silva Cell block to fill the approximate Silva Cell area, starting along the curb setback and around tree openings and/or other site obstacles and utilities.

- All structures such as tree grates, curbs, and footings designed to be supported by Silva Cell structures must be placed directly above the Silva Cell posts. Silva Cell posts are located around the perimeter of the Silva Cell frames.

- Link soil volumes wherever possible between trees so that they can share soil.

6. Silva Cells should always be placed parallel or perpendicular to each other.

- Gaps larger than 3" (75 mm) should be avoided if possible. See "Gap Bridging" details for further information.

7. After the Silva Cells are laid out, finalize all volume calculations and Silva Cell counts.

- Verify that the designed system meets the target soil volume for the intended tree(s), and if used in a stormwater application, meets the target stormwater treatment volumes.

- Determine the number of Silva Cell frames and Silva Cell decks required for your design (i.e., a 3-layer system requires 3 Silva Cell frames and 1 Silva Cell deck).

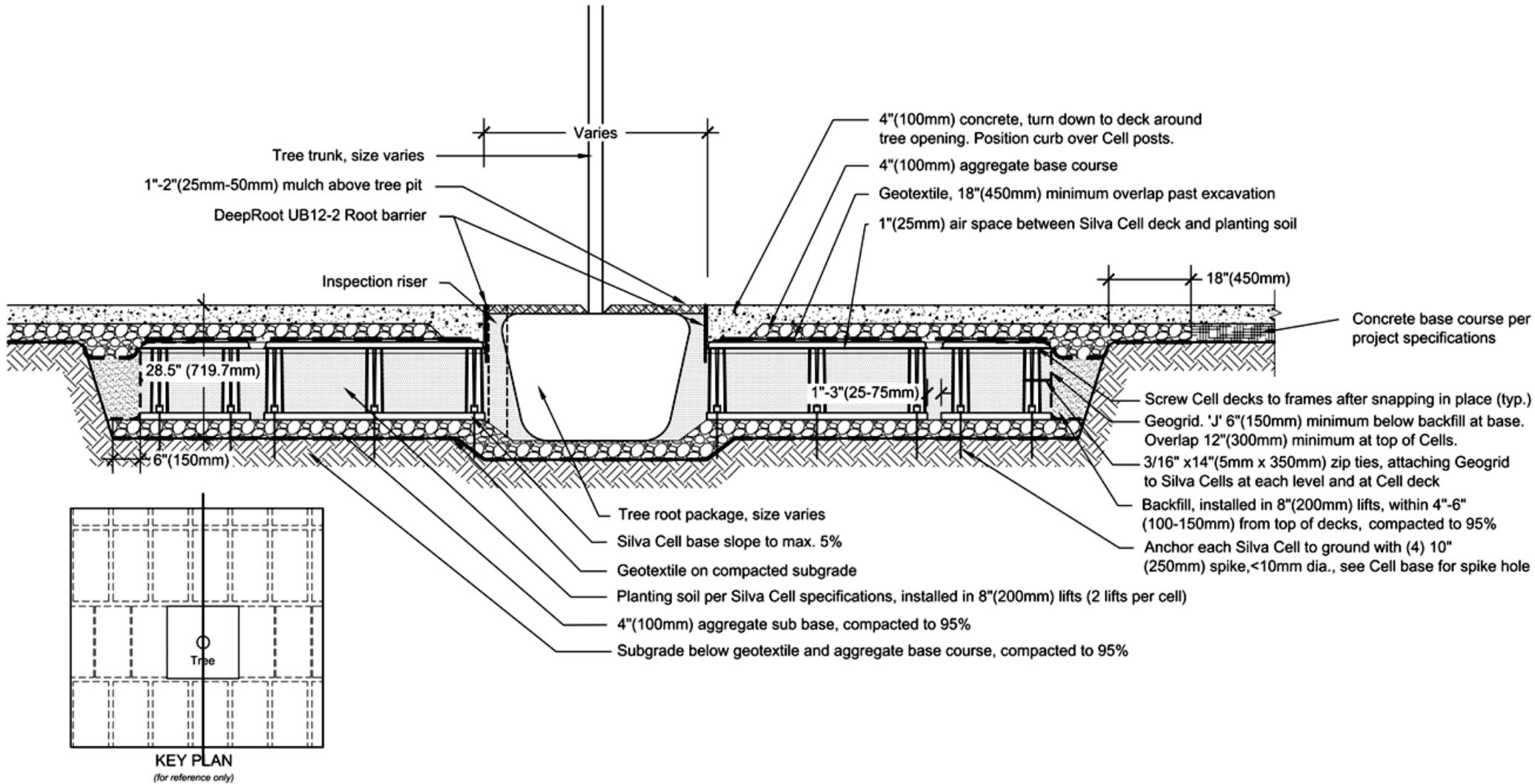
All Silva Cell layouts and details must be reviewed by a DeepRoot consultant prior to construction to ensure proper application of the Silva Cell technology. Please contact DeepRoot if you run into any difficulties; we will help find solutions for your site.

USA: (800) 458 7558

Canada: (800) 561 3883

United Kingdom: +44 (0) 207 969 2739

info@deeproot.com



Project No.: 07337
 Drawn by: MDB
 Checked by: DR
 Date: 8/1/2012

Revisions:

2012 Release

07337 Deeproot/CAD/DR-TreeDetails.dwg

Silva Cells for PLAZA APPLICATIONS

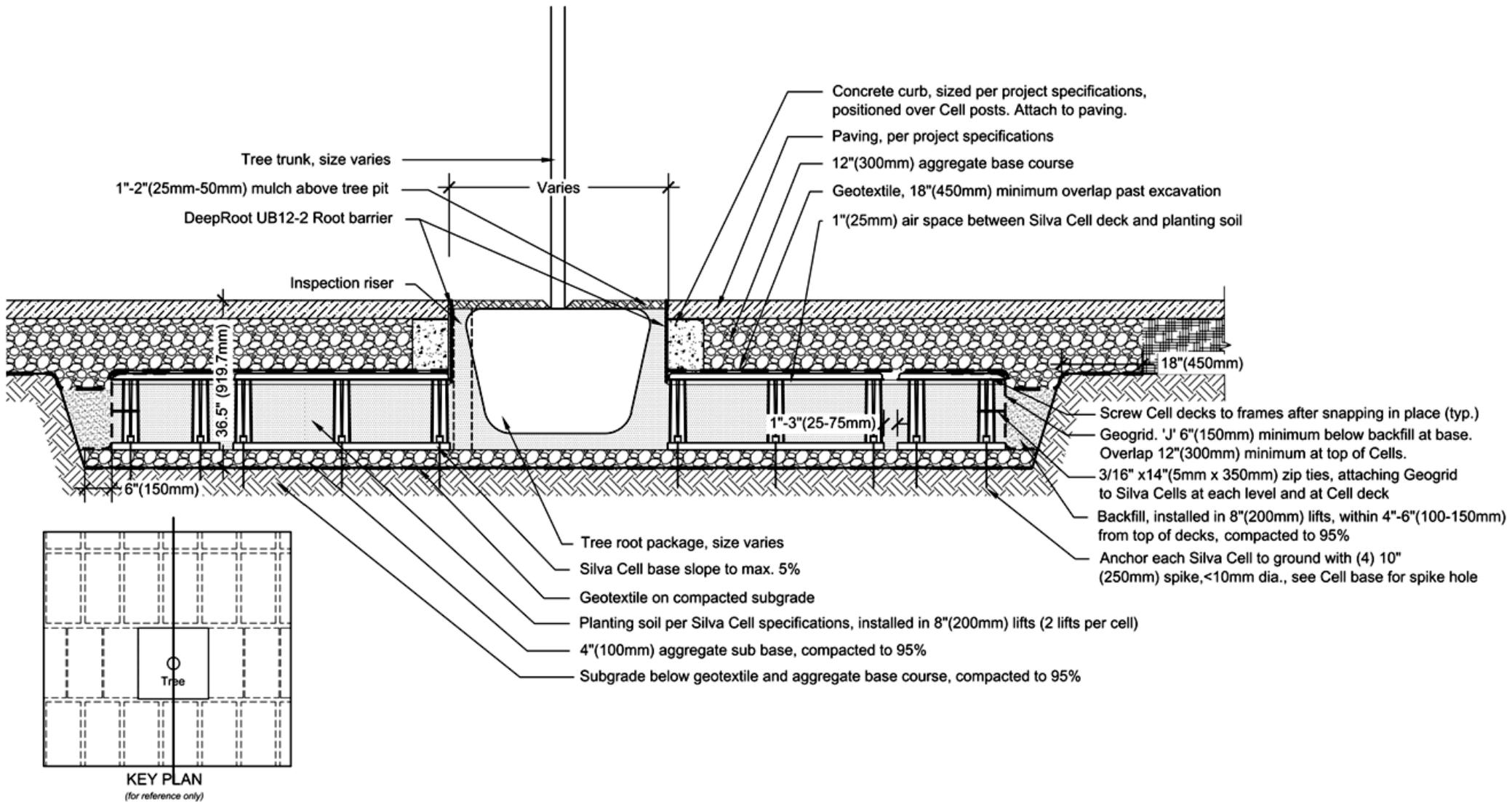
Concrete 1.0

[Back to Index](#)

NOTES:

1. Installation to be completed in accordance with manufacturer's specifications.
2. Do not scale drawings.

Disclaimer: Conditions that vary from drawings must be evaluated by a qualified Engineer and appropriate adjustments made.



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1. Installation to be completed in accordance with manufacturer's specifications.
2. Do not scale drawings.

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[Back to Index](#)

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07337 DeepRootCAD/DR-TreeDetails.dwg

Silva Cells
 for
 PLAZA
 APPLICATIONS

Pavers, Asphalt, &
 Porous Pavements
 1.0





VILLA MADEIRA. South Elevation.

335-341 MADEIRA AVE. CORAL GABLES.
MIAMI, FLORIDA 33134

03.25.16



ARCHITECTURAL GROUP

Sheet # A 1.9
Scale: N.T.S.



1 PROPOSED SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

VILLA MADEIRA. South Elevation.
335-341 MADEIRA AVE. CORAL GABLES.
MIAMI, FLORIDA 33134

03.25.16



ARCHITECTURAL GROUP

Sheet # A 3.0
Scale: N.T.S.



VILLA MADEIRA. West Elevation.

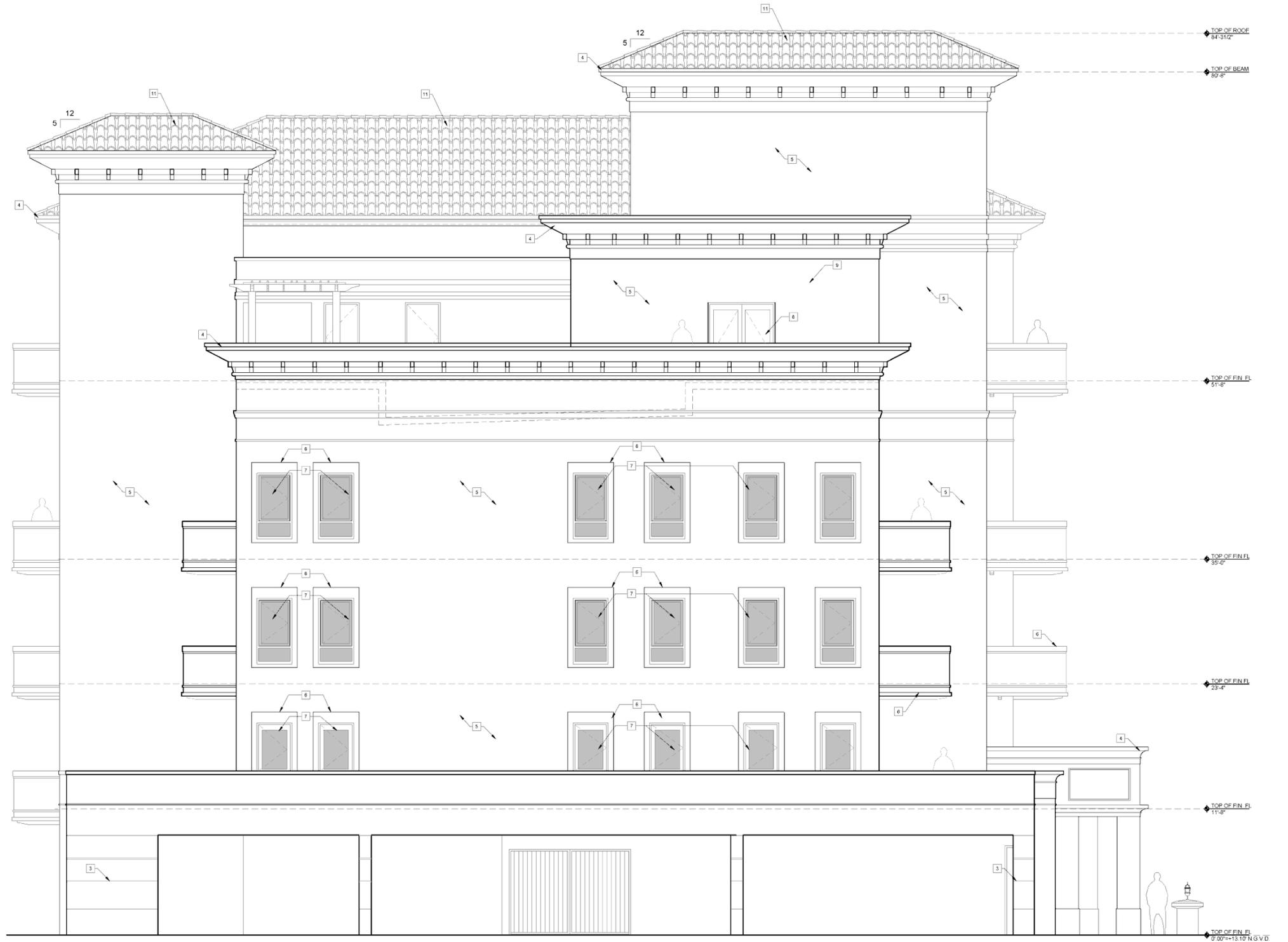
335-341 MADEIRA AVE. CORAL GABLES.
MIAMI, FLORIDA 33134

03.25.16



ARCHITECTURAL GROUP

Sheet # A 1.11
Scale: N.T.S.



1 PROPOSED WEST ELEVATION
SCALE: 1/4" = 1'-0"

VILLA MADEIRA. West Elevation.
335-341 MADEIRA AVE. CORAL GABLES.
MIAMI, FLORIDA 33134

0.3.25.16



ARCHITECTURAL GROUP

Sheet # A 3.1
Scale: N.T.S.



VILLA MADEIRA. East Elevation.

335-341 MADEIRA AVE. CORAL GABLES.
MIAMI, FLORIDA 33134

03.25.16



ARCHITECTURAL GROUP

Sheet # A 1.10
Scale: N.T.S.



1 PROPOSED EAST ELEVATION
SCALE: 1/4" = 1'-0"

VILLA MADEIRA. East Elevation.

335-341 MADEIRA AVE. CORAL GABLES.
MIAMI, FLORIDA 33134

03.25.16



ARCHITECTURAL GROUP

Sheet # A 3.2
Scale: N.T.S.



1 PROPOSED NORTH ELEVATION
SCALE: 1/4" = 1'-0"

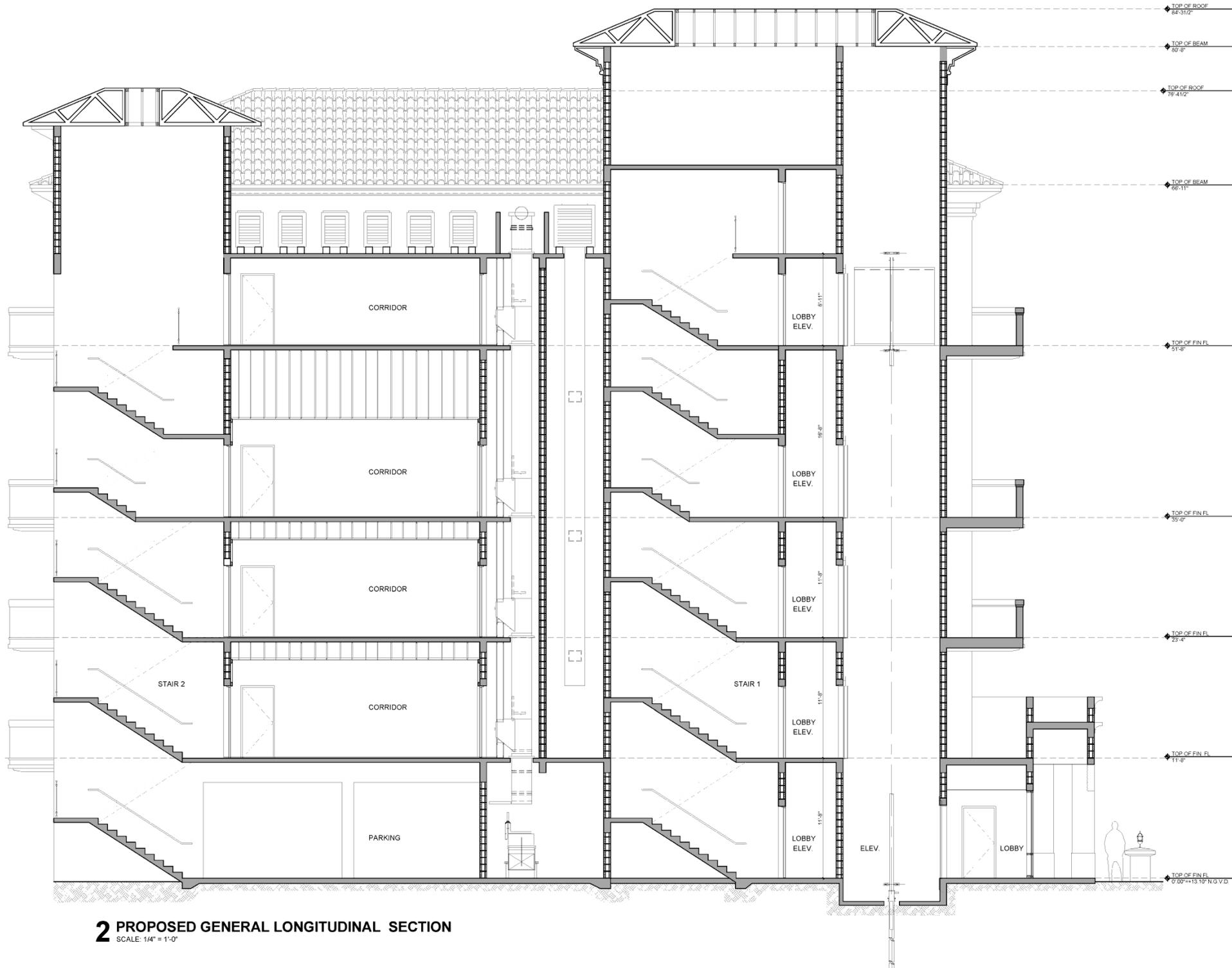
VILLA MADEIRA. North Elevation.
335-341 MADEIRA AVE. CORAL GABLES.
MIAMI, FLORIDA 33134

03.25.16

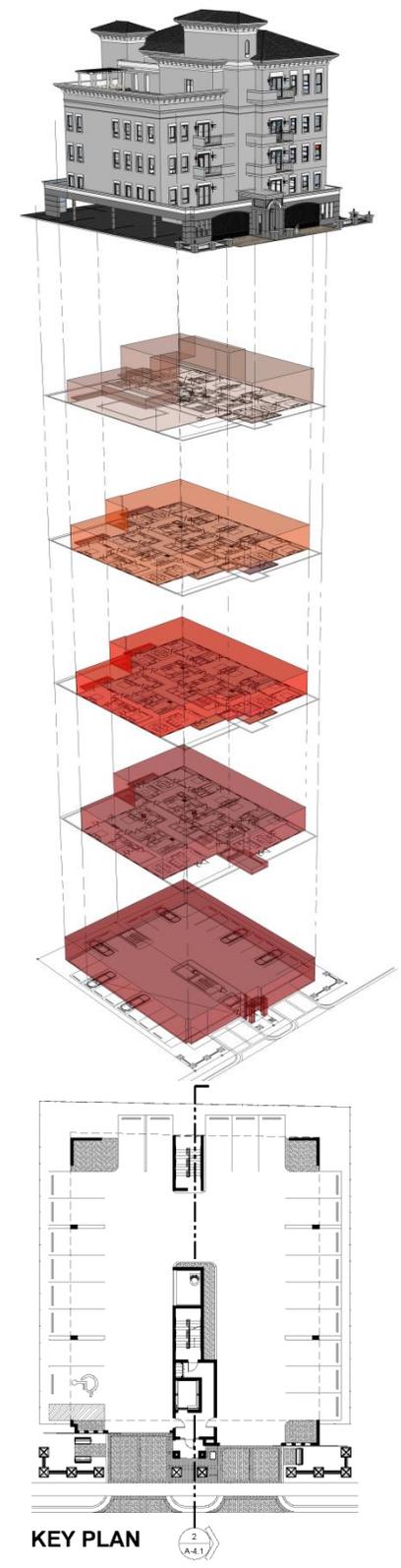


ARCHITECTURAL GROUP

Sheet # A 3.3
Scale: N.T.S.



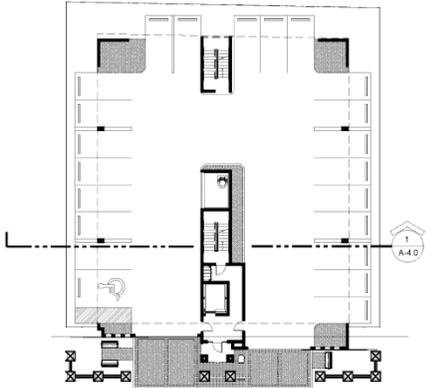
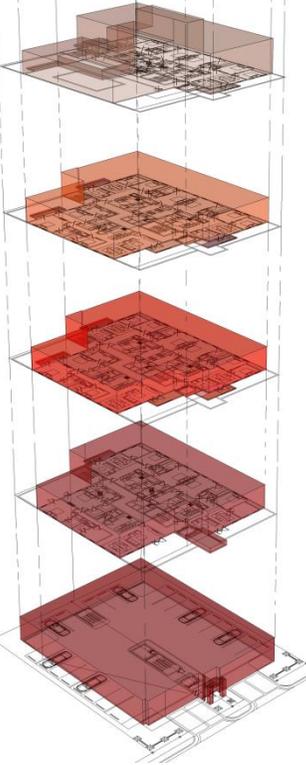
2 PROPOSED GENERAL LONGITUDINAL SECTION
 SCALE: 1/4" = 1'-0"



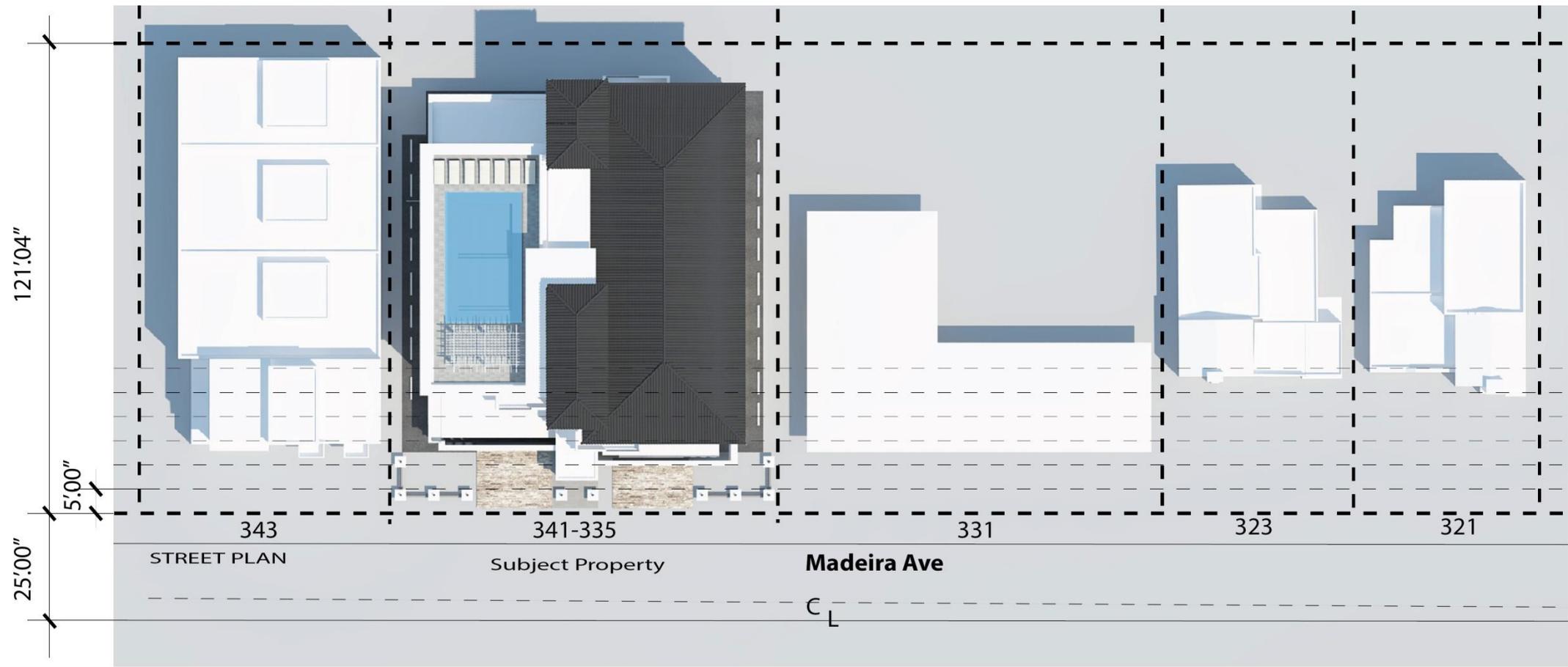
KEY PLAN



1 PROPOSED GENERAL TRANSVERSAL SECTION
SCALE: 1/4" = 1'-0"



KEY PLAN



VILLA MADEIRA. Block Diagram.

335-341 MADEIRA AVE. CORAL GABLES.
MIAMI, FLORIDA 33134

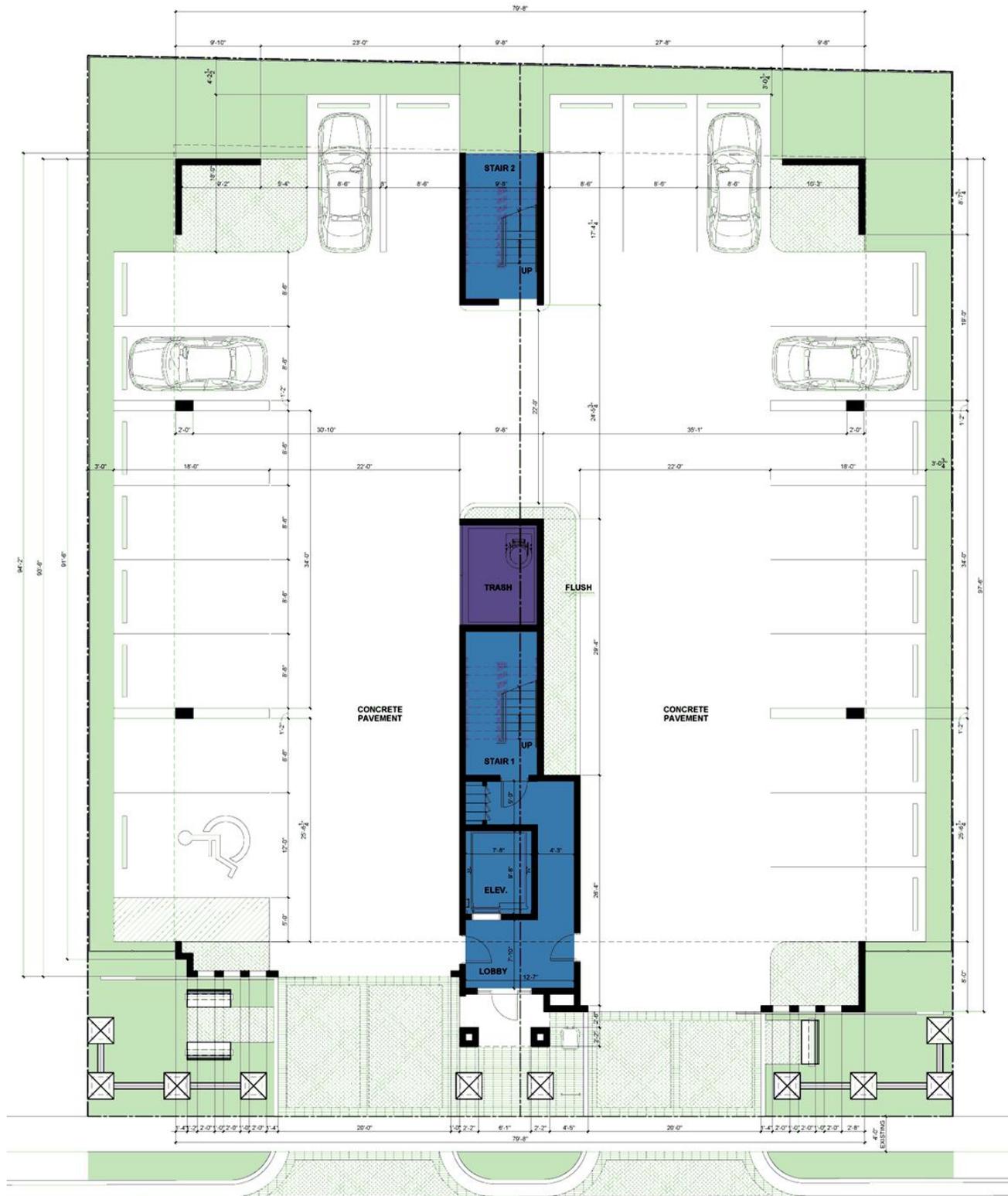
03.25.16



ARCHITECTURAL GROUP

Sheet # A1.5
Scale: N.T.S.





LEGEND

- GREEN SPACE
- COMMON AREAS
- TRASH DISPOSAL

1 GROUND FLOOR PLAN
SCALE: 3/16" = 1'-0"

VILLA MADEIRA . Ground Floor Plan.

335-341 MADEIRA AVE. CORAL GABLES,
MIAMI, FLORIDA 33134

03.25.16



ARCHITECTURAL GROUP

Sheet # A2.1
Scale: N.T.S.



- LEGEND**
- UNIT.1 (TYPE-A)
 - UNIT.2 (TYPE-C)
 - UNIT.3 (TYPE-E)
 - COMMON AREAS
 - ROOF DECK

1 SECOND LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"



VILLA MADEIRA . Second Floor Plan.

335-341 MADEIRA AVE. CORAL GABLES.
MIAMI, FLORIDA 33134

03.25.16





LEGEND

- UNIT.1 (TYPE-B)
- UNIT.2 (TYPE-D)
- UNIT.3 (TYPE-E)
- COMMON AREAS

1 THIRD LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"



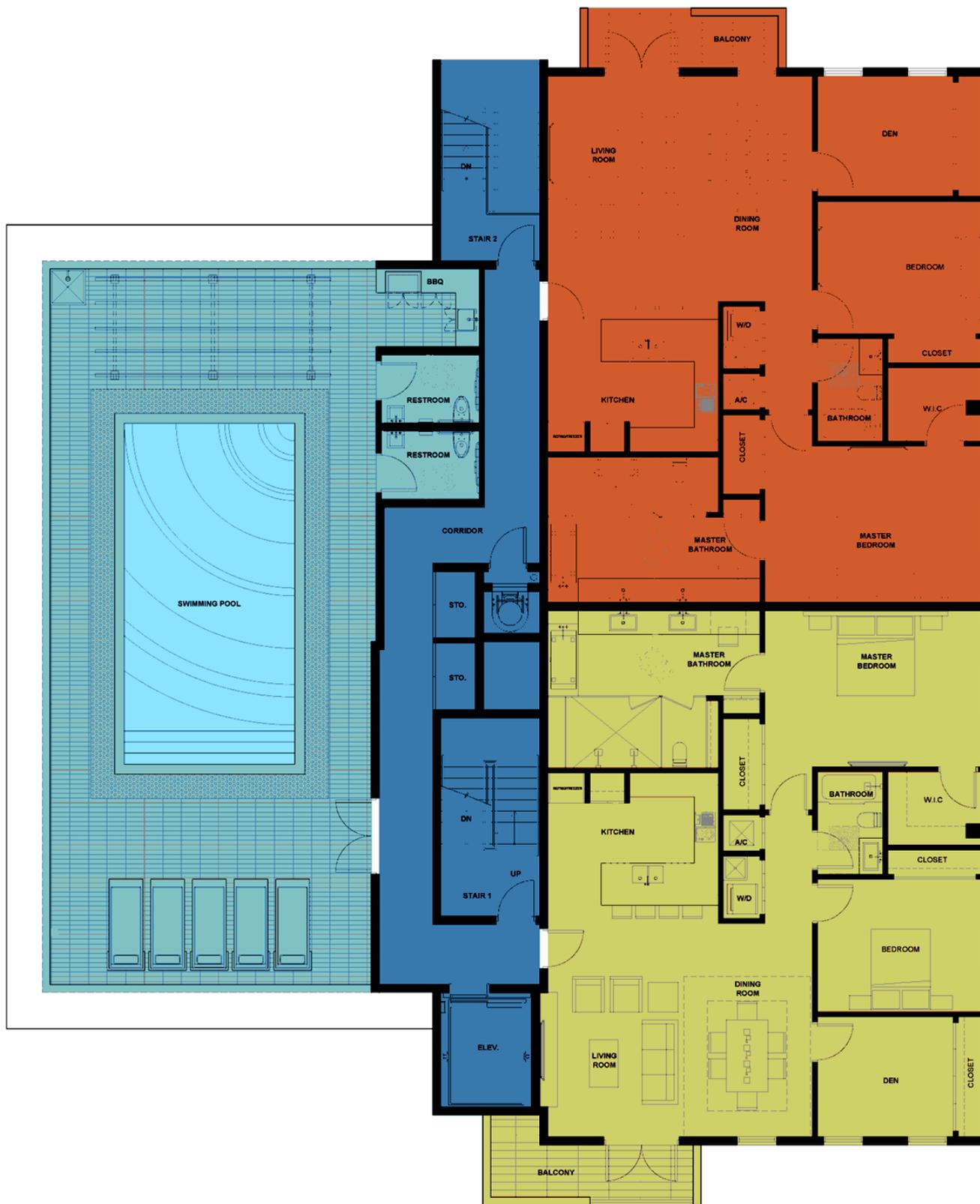
VILLA MADEIRA . Third & Fourth Floor Plan.

335-341 MADEIRA AVE. CORAL GABLES.
MIAMI, FLORIDA 33134

03.25.16



Sheet # A2.3-A2.4
Scale: N.T.S.



LEGEND

- POOL AREA
- UNIT.2 (TYPE-D)
- UNIT.3 (TYPE-E)
- COMMON AREAS

1 FIFTH LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"



VILLA MADEIRA . Fifth Floor Plan.

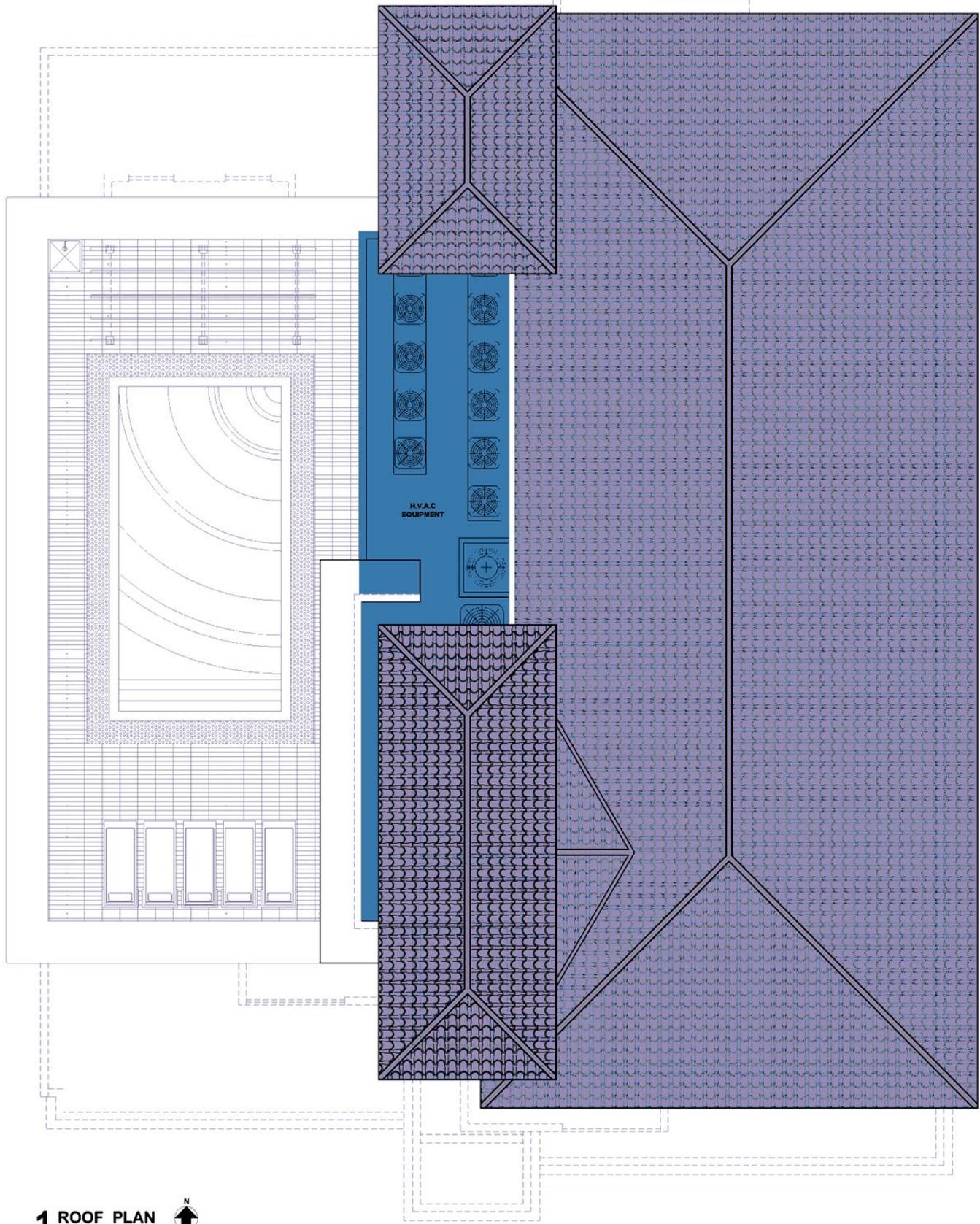
335-341 MADEIRA AVE. CORAL GABLES.
MIAMI, FLORIDA 33134

03.25.16



ARCHITECTURAL GROUP

Sheet # A2.5
Scale: N.T.S.



LEGEND



ROOF DECK



H.V.A.C. EQUIPMENT

1 ROOF PLAN
SCALE: 1/4" = 1'-0"



VILLA MADEIRA . Roof Plan.

335-341 MADEIRA AVE. CORAL GABLES.
MIAMI, FLORIDA 33134

03.25.16



ARCHITECTURAL GROUP

Sheet # A2.7
Scale: N.T.S.





Historical Resources &
Cultural Arts

2327 SALZEDO STREET
CORAL GABLES
FLORIDA 33134

☎ 305.460.5093
✉ hist@coralgables.com

December 14, 2015

Madeira Avenue, LLC
2125 Ockeechobee Road
Hialeah, FL 33010

Re: 341 Madeira Avenue, legally described as Lots 4 and 5, Block 1, Revised Plat of Coral Gables Section "K," according to the plat thereof as recorded in Plat Book 30 at page 60, of the public records of Miami-Dade County, Florida.

Dear Sirs:

Section 3-1107(g) of the Coral Gables Zoning Code states that "All demolition permits for non-designated buildings and/or structures must be approved by the Historic Preservation Officer or designee. The approval is valid for six (6) months from issuance and shall thereafter expire and the approval is deemed void unless the demolition permit has been issued by the Development Services Department. The Historic Preservation Officer may require review by the Historic Preservation Board if the building and/or structure to be demolished is eligible for designation as a local historic landmark or as a contributing building, structure or property within an existing local historic landmark district. This determination of eligibility is preliminary in nature and the final public hearing before the Historic Preservation Board on Local Historic Designation shall be within sixty (60) days from the Historic Preservation Officer determination of "eligibility." Consideration by the Board may be deferred by mutual agreement by the property owner and the Historic Preservation Officer. The Historic Preservation Officer may require the filing of a written application on the forms prepared by the Department and may request additional background information to assist the Board in its consideration of eligibility. Independent analysis by a consultant selected by the City may be required to assist in the review of the application. All fees associated with the analysis shall be the responsibility of the applicant. The types of reviews that could be conducted may include but are not limited to the following: property appraisals; archeological assessments; and historic assessments."

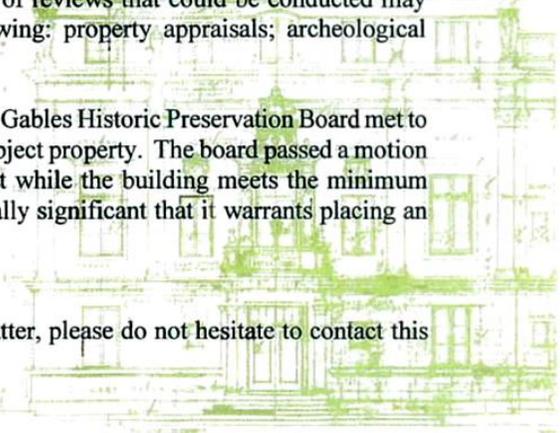
On Thursday February 17, 2005, the Coral Gables Historic Preservation Board met to review the historical significance of the subject property. The board passed a motion directing staff to issue a letter stating that while the building meets the minimum criteria to be historic, it is not so historically significant that it warrants placing an obstacle in the way of demolition.

If you have any further questions concerning this matter, please do not hesitate to contact this office.

Sincerely,

Dona M. Spain
Historic Preservation Officer

cc: Dynamic Capital Group, LLC, 680 NE 105 Lane, Anthony, FL 32617
Craig Leen, City Attorney
Miriam S. Ramos, Deputy City Attorney
Charles Wu, Assistant Development Services Director
Ramon Trias, Planning & Zoning Director
William Miner, Building Director
Virginia Goizueta, Plans Processor Lead
Historical Significance Request Property File



VILLA MADEIRA.
335-341 MADEIRA AVE. CORAL GABLES.
MIAMI, FLORIDA 33134

03.25.16



ARCHITECTURAL GROUP





**CITY OF CORAL GABLES
LOBBYIST ANNUAL REGISTRATION APPLICATION
FOR EACH PRINCIPAL REPRESENTED**

REGISTRATION #: _____

2016 FEB 23 PM 4:08
CITY OF CORAL GABLES
OFFICE OF THE CITY CLERK

HAVE YOU BEEN RETAINED TO LOBBY ANY OF THE FOLLOWING FOR THE STATED PURPOSE?

CITY OFFICIALS: Mayor, City Commissioners, City Attorney, City Manager, City Clerk, Assistant City Manager, Special Assistant to City Manager, Heads or Directors of Departments, and their Assistant or Deputy, Police Major or Chief, Fire Major or Chief, Building and Zoning Inspectors Board, Committee Members, or any other City Official or staff.

FOR THIS PURPOSE: To encourage the approval, disapproval, adoption, repeal, passage, defeat or modification of any ordinance, resolution, action or decision of the City Commission; or any action, decision or recommendation of the City Commission, any Board, Committee or City Official.

IF THE FOREGOING APPLIES TO YOU, YOU ARE REQUIRED TO REGISTER AS A LOBBYIST:

Print Your Name Jose A. Vidal
LOBBYIST

Print Your Business Name, if applicable V3 Architectural Group, Inc.

Business Telephone Number 305-904-5117

Business Address 13944 SW 8 Street, Suite 206, Miami, Florida 33184
ADDRESS CITY, STATE ZIP CODE

Federal ID#: 26-4004444

State the extent of any business or professional relationship you have with any current member of the City Commission.
None

PRINCIPAL REPRESENTED:

NAME Jorge Redondo COMPANY NAME, IF APPLICABLE R&R Development Group, LLC

BUSINESS ADDRESS 680 NE 105 Lane, Anthony, FL 32617 TELEPHONE NO.: 352-208-9797

ANNUAL REPORT: On October 1st of each year, you are required to submit to the City Clerk a signed statement under oath listing all lobbying expenditures in excess of \$25.00 for the preceding calendar year. A statement is required to be filed even if there were no expenditures.

LOBBYIST ISSUE APPLICATION: Prior to lobbying for a specific issue, you are required to fill out a Lobbyist Issue Application form with the Office of the City Clerk; stating under oath, your name, business address, the name of each principal who employed you to lobby, and the specific issue on which you wish to lobby.

NOTICE OF WITHDRAWAL: If you discontinue representing a particular client, a notice of withdrawal is required to be filed with the City Clerk.

ANNUAL LOBBYIST REGISTRATION FEE: This Registration must be on file in the Office of the City Clerk prior to the filing of an Issue Application to lobby on a specific issue, and payment of a \$150.00 Lobbyist Registration Fee is required.

I Jose A. Vidal hereby swear or affirm under penalty of perjury that I have read the provisions of the City of Coral Gables Ordinance 2006-11, governing Lobbying and that all of the facts contained in this Registration Application are true and that I agree to pay the \$150.00 Annual Lobbyist Registration Fee.

Signature of Lobbyist

STATE OF FLORIDA)
COUNTY OF DADE)

BEFORE ME personally appeared Jose A. Vidal to me well known and known to me to be the person described in and who executed the foregoing instrument, and acknowledged to and before me that he/she executed said instrument for the purposes therein expressed.

WITNESS my Hand and Official Seal this Feb. 22 2016

Personally Known

Produced ID

Angelica Martinez
COMMISSION #FF922661
EXPIRES: November 8, 2019
WWW.AARONNOTARY.COM

\$150.00 Fee Paid _____ Received By _____ Date: _____

Fee Waived for Not-for-Profit Organizations (documentary proof attached.) _____

For Office Use Only	
Data Entry Date: _____, 20____	Entered By: _____



CITY OF CORAL GABLES
LOBBYIST
ISSUE APPLICATION

REGISTRATION #: _____

HAVE YOU BEEN RETAINED TO LOBBY ANY OF THE FOLLOWING FOR THE STATED PURPOSE?

CITY OFFICIALS: Mayor, City Commissioners, City Attorney, City Manager, City Clerk, Assistant City Manager, Special Assistant to City Manager, Heads or Directors of Departments, and their Assistant or Deputy, Police Major or Chief, Fire Major or Chief, Building and Zoning Inspectors, Board, Committee Members, or any City Official or staff.

FOR THIS PURPOSE: To encourage the passage, defeat or modification of any ordinance, resolution, action or decision of the City Commission; or any action, decision or recommendation of any Board, Committee or City Official.

IF THE FOREGOING APPLIES TO YOU, YOU ARE REQUIRED TO REGISTER AS A LOBBYIST AND TO FILE THE FOLLOWING INFORMATION, UNDER OATH, WITH THE CITY CLERK FOR EACH ISSUE ADDRESSED. ISSUE FEE: NO CHARGE, PROVIDING YOU HAVE A CURRENT ANNUAL LOBBYIST REGISTRATION DOCUMENT ON FILE.

Print Your Name: Mario Garcia-Serra LOBBYIST
Print Your Business Name: Gunster, Yoakley & Stewart, P.A.
Business Telephone Number: 305-376-6000
Business Address: 600 Brickell Avenue, Suite 3500, Miami, Florida 33131

2016 FEB 22 PM 2:05
CITY OF CORAL GABLES
OFFICE OF THE CITY CLERK

Corporation, Partnership, or Trust Represented:

Principal Name: Jorge Redondo / R&R Development Group, LLC

Principal Address: 580 N.E. 105 Lane, Anthony, Florida 32617 Telephone Number: 352-208-9797

ISSUE: Describe in detail, including address, if applicable, of the specific issue on which you will lobby: (Separate Application is required for each specific issue)

Obtaining the necessary land use and zoning approvals for proposed development of an apartment building at 335-341 Madeira Avenue in Coral Gables, Florida.

I Mario Garcia-Serra hereby swear or affirm under penalty of perjury that all the facts contained in this Application are true and that I am aware that these requirements are in compliance with the provisions of the City of Coral Gables Ordinance No. 2006-11, governing Lobbying.

Signature of Lobbyist: Mario Garcia-Serra

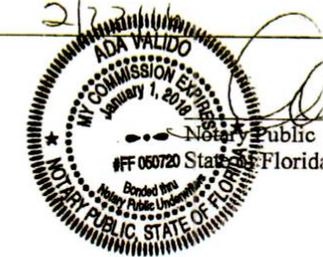
Date: 2/22/16

STATE OF FLORIDA)
COUNTY OF DADE)

BEFORE ME personally appeared Mario Garcia-Serra to me well known and known to me to be the person described in and who executed the foregoing instrument, and acknowledged to and before me that he/she executed said instrument for the purposes therein expressed.

WITNESS my Hand and Official Seal this 2/22/16

X Personally Known
Produced ID



2016 FEB 22 PM 2:05
CITY OF CORAL GABLES
OFFICE OF THE CITY CLERK

For Office Use Only
Data Entry Date: _____, 20____ Entered By: _____

Annual Fees Waived for Not-for-Profit Organization. Please attach documentary proof.



This instrument prepared by:

THOMAS L. HARRIS ESQ.
Thomas L. Harris, P.A.
9500 S. Dadeland Blvd., #600
Miami, FL 33156

Return To:

Union Title Services
90 Almeria Avenue
Coral Gables, FL 33134

Tax Folio Number: 03-4108-005-0020
03-4108-005-0030

WARRANTY DEED

THIS WARRANTY DEED made the 2 day of MARCH, 2016, by and between **MADEIRA AVE, LLC, a Florida limited liability company**, whose address is 2125 West Okeechobee Road, Hialeah, FL 33010 ("Grantor") and **R&R DEVELOPMENT GROUP, LLC, a Florida limited liability company ("Grantee")**, whose mailing address is 680 NE 105 Lane, Anthony, FL 32617.

W I T N E S S E T H :

THAT, the Grantor, for and in consideration of the sum of TEN AND NO/00 DOLLARS (\$10.00) and other good and valuable considerations, to it in hand paid by the Grantee, the receipt whereof is hereby acknowledged, hereby grant, bargain and sell to Grantee, its successors and assigns forever, the following described real property, located and situate in **Miami-Dade County, Florida**, to-wit:

Lots 4, 5, 6 and 7, Block 1, REVISED PLAT OF CORAL GABLES SECTION "K", according to the Plat thereof, as recorded in Plat Book 30 at Page 60, of the Public Records of Miami-Dade County, Florida.

This conveyance is subject to the following:

1. Taxes for the year 2016, and subsequent years.
2. Conditions, restrictions, limitations, agreements and easements of record, if any; but this provision shall not operate to reimpose the same.
3. Zoning and other governmental regulations.

The Grantor does hereby fully warrant the title to the real property hereby conveyed and will defend the same against the lawful claims of all persons whomsoever.

IN WITNESS WHEREOF, Grantor has executed this Warranty Deed on the date and year written beside her respective signature.

Witnesses:
limited

MADEIRA AVE, LLC, a Florida Liability company

[Signature]
Print Name: THOMAS L. HARRIS

By: [Signature]
JORGE DEL REY
Managing Member

[Signature]
Print Name: MARtha PRdz.

[Signature]
Print Name: Jorge L. Del Rey

By: [Signature]
JULIO DEL REY
Managing Member

[Signature]
Print Name: MARtha PRdz.

[Signature]
Print Name: Jorge L. Del Rey

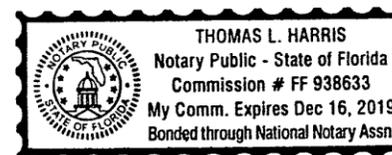
By: [Signature]
ROBERT HADDAD
Managing Member

[Signature]
Print Name: MARtha PRdz.

STATE OF FLORIDA

COUNTY OF MIAMI-DADE

The foregoing instrument was acknowledged before me this 2 day of MARCH, 2016, by JORGE DEL REY, as Managing Member of Madeira Ave, LLC, a Florida limited liability company, who is personally known to me or who produced _____ as identification and did/did not take an oath.

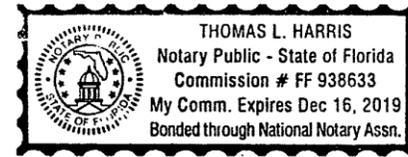


[Signature]
Notary Public State of FL

STATE OF FLORIDA

COUNTY OF MIAMI-DADE

The foregoing instrument was acknowledged before me this 2 day of March, 2016, by JULIO DEL REY, as Managing Member of MADEIRA AVE, LLC, a Florida limited liability company, who is personally known to me or who produced _____ as identification and did/did not take an oath.

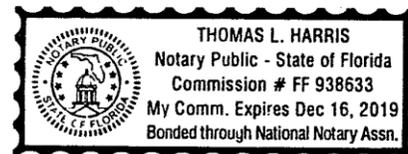


[Signature]
Notary Public State of FL

STATE OF FLORIDA

COUNTY OF MIAMI-DADE

The foregoing instrument was acknowledged before me this 2 day of March, 2016, by ROBERT HADDAD, as Managing Member of MADEIRA AVE, LLC, a Florida limited liability company, who is personally known to me or who produced _____ as identification and did/did not take an oath.



[Signature]
Notary Public State of FL



THIS CHECK HAS A COLORED BACKGROUND AND CONTAINS MULTIPLE SECURITY FEATURES - SEE BACK FOR DETAILS



GUNSTER
FLORIDA'S LAW FIRM FOR BUSINESS

777 South Flagler Drive
Suite 500 East
West Palm Beach, FL 33401

West Palm Beach Operating Account

Feb 19, 2016

VOID AFTER 180 DAYS

60824

63-751
631

PAY TO THE ORDER OF City of Coral Gables \$ *****100.00

One hundred and _____ *00/100* U.S. DOLLARS

Deliver to: City of Coral Gables






 Authorized Signature

⑈ 60824 ⑈ ⑆ 0631075131 ⑆ 2000044459107 ⑈ ⑆ 0000010000 ⑆