

Planning & Zoning Board

8/13/2014

- **About Form-based Codes**
- **Mediterranean Village Form-based Code**

**What are
Form-based
Codes ?**

Form-Based Zoning Codes

Planning and Zoning Board Workshop Meeting
Coral Gables, Florida

August 13, 2014

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Weiss Serota Helfman Pastoriza Cole & Boniske, P.L.

Origins of Traditional Zoning

- Established by Standard State Zoning Enabling Act and upheld by US Supreme Court in *Euclid v. Ambler* in 1920s
- Dominant approach to zoning regulation since Mid-20th Century
- Part of a public health movement to separate the pastoral residence from the big, smelly, dangerous, noisy factory/workplace

Characteristics of Traditional Zoning

- Regulated by Use and Driven by Permits
- Uses Separated by Zoning District . . . But People Interact with Multiple Uses All the Time
- Requires Many Large Roads to Connect the Far-Flung Separate Uses

Limitations of Traditional Zoning

- Prescriptive in Nature – Can Stifle Creativity
- Development Standards Such as Floor Area Ratios (FARs) Have Re-Introduced Flexibility, but at the Cost of Predictability
 - Not Intuitive to Administer or Use
 - Not Transparent to the Public
 - Must Calculate to Understand What Can Be Done
- City's Current Code Has Some Elements of Form-Based Coding, But is Primarily a Traditional Code Driven by FAR, Density and Height Limits

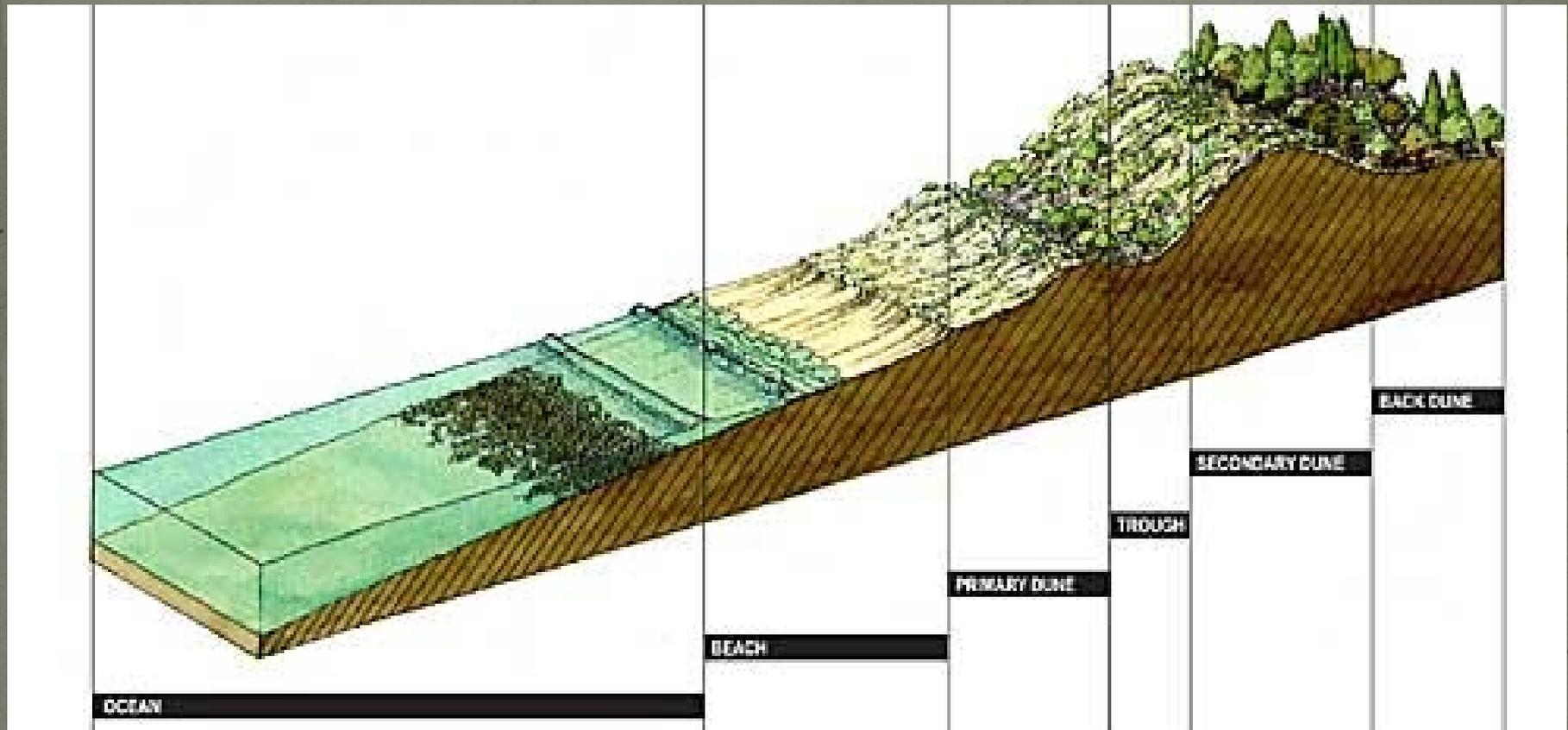
Origins of Form-Based Zoning Codes

- Arose from Dissatisfaction with the Buildings and Cities that Resulted from Traditional Zoning
- Regulates by Building Form, Regardless of Use, and Driven by Design
- Focusing on Integration of Uses, Not Separation
- A Return to the Historical Approach to Creating Cities That Have Character and are Sensitive to Context
- Modern Concept Dates Back to Seaside, Florida, 1987, Designed by Duany and Plater-Zyberk
- Accelerated Implementation Since Mid-2000s

Form-Based Zoning Codes

- Not the Same as Architectural Style Standards – The Same Building Form can be Expressed in Any Architectural Style
- Organizing Principle – The Continuum of Idealized Urban Forms, Ranging from Completely Rural to the Most Intense Urban Places
- Most Cities do not Have the Full Continuum of Forms
- Referred to as the “Transect”, Which Must Be Calibrated to Local Character and Form

Form-Based Zoning Codes: Inspired by the Transect of Habitats



Source: Center for Applied Transect Studies at
<http://www.transect.org/transect.html>

Form-Based Zoning Codes: Rural to Urban Transect Zones



Source: Center for Applied Transect Studies at
<http://www.transect.org/transect.html>

DPZ Maui Transect

Source: Center for Applied Transect Studies at
http://www.transect.org/cities_img.html

HAWAI'I AHUPUA'A (A VALLEY SECTION)



Form-Based Zoning Codes

- Alternatively, the regulations can be organized around street types rather than the transect.
- The development standards for a structure are determined by what type of street it fronts on, ranging from small alleys to major corridors.
- This is the approach that will be presented in greater depth by Victor Dover.

Form-Based Zoning Codes

- Emphasis on Higher Quality Public Realm and Sense of Place, Focusing on
 - Relationship Between The Building and The Street
 - Public Space
 - Quality of Transitions Between Transect Zones, Where Different Intensities of Development Meet

Why Form-Based Zoning Codes

- Purpose: Alternative Regulatory Framework Designed to Produce High Value, Walkable, Mixed-Use Communities
- Clear Vision of Outcome, Rather Than Lists of Technical Standards with Unpredictable Outcomes

Form-Based Code Institute Criteria

- Is the code's focus primarily on regulating urban form and less on land use?
- Is the code regulatory rather than advisory?
- Does the code emphasize standards and parameters for form with predictable physical outcomes (build-to lines, frontage type requirements, etc.) rather than relying on numerical parameters (FAR, density, etc.) whose outcomes are impossible to predict?
- Does the code require private buildings to shape public space through the use of building form standards with specific requirements for building placement?

Form-Based Code Institute Criteria

- Does the code promote and/or conserve an interconnected street network and pedestrian-scaled blocks?
- Are regulations and standards keyed to specific locations on a regulating plan?
- Are the diagrams in the code unambiguous, clearly labeled, and accurate in their presentation of spatial configurations?

Experience with Form-Based Zoning Codes

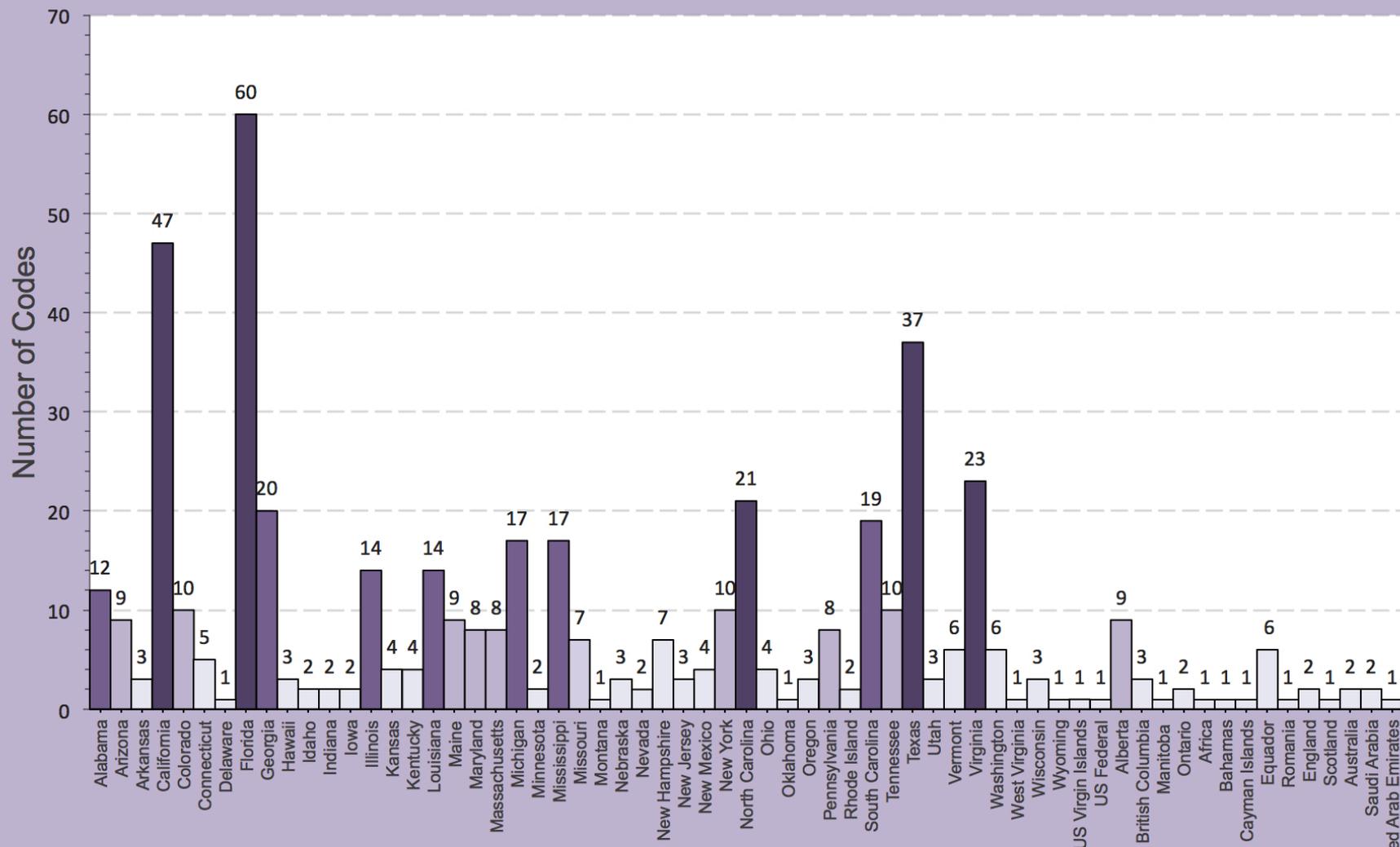
As of May 2013:

- 480 form-based codes meet Form-Based Codes Institute criteria, and 14 form-based sets of guidelines
- 279 adopted, with 84% adopted since 2003 and others in process
- Communities representing 39 million acres and 42 million people
- Can be implemented at the scale of an entire city or a single neighborhood or project

(Source: <http://www.placemakers.com/how-we-teach/codes-study/>)

Form-Based Codes Nationally

Codes Study: SmartCodes and Other Form-Based Codes



Source: Hazel Borys & Emily Talen | 480 Codes plus 14 Guidelines Tracked as of May 2013 | Creative Commons NonCommercial ShareAlike License

Experience with Form-Based Zoning Codes

Examples of communities using or developing some type of form-based coding – 60 in Florida including Naples, Winter Park, Venice, Stuart and Sarasota.
Also:

Taos, NM

Santa Fe, NM

San Diego, CA

Sonoma, CA

Palo Alto, CA

Ventura, CA

Petaluma, CA

Alexandria, VA

Hilton Head, SC

Charleston, SC

Denver, CO

Colorado Springs, CO

Steamboat Springs, CO

Calgary Alberta, CA

Saratoga Springs, NY

Lake Tahoe, NV

Hila, HA

Asheville, NC

Nashville, TN

Sedona, AZ

Austin, TX

Shelburne, VT

Evanston, IL

Portland, OR

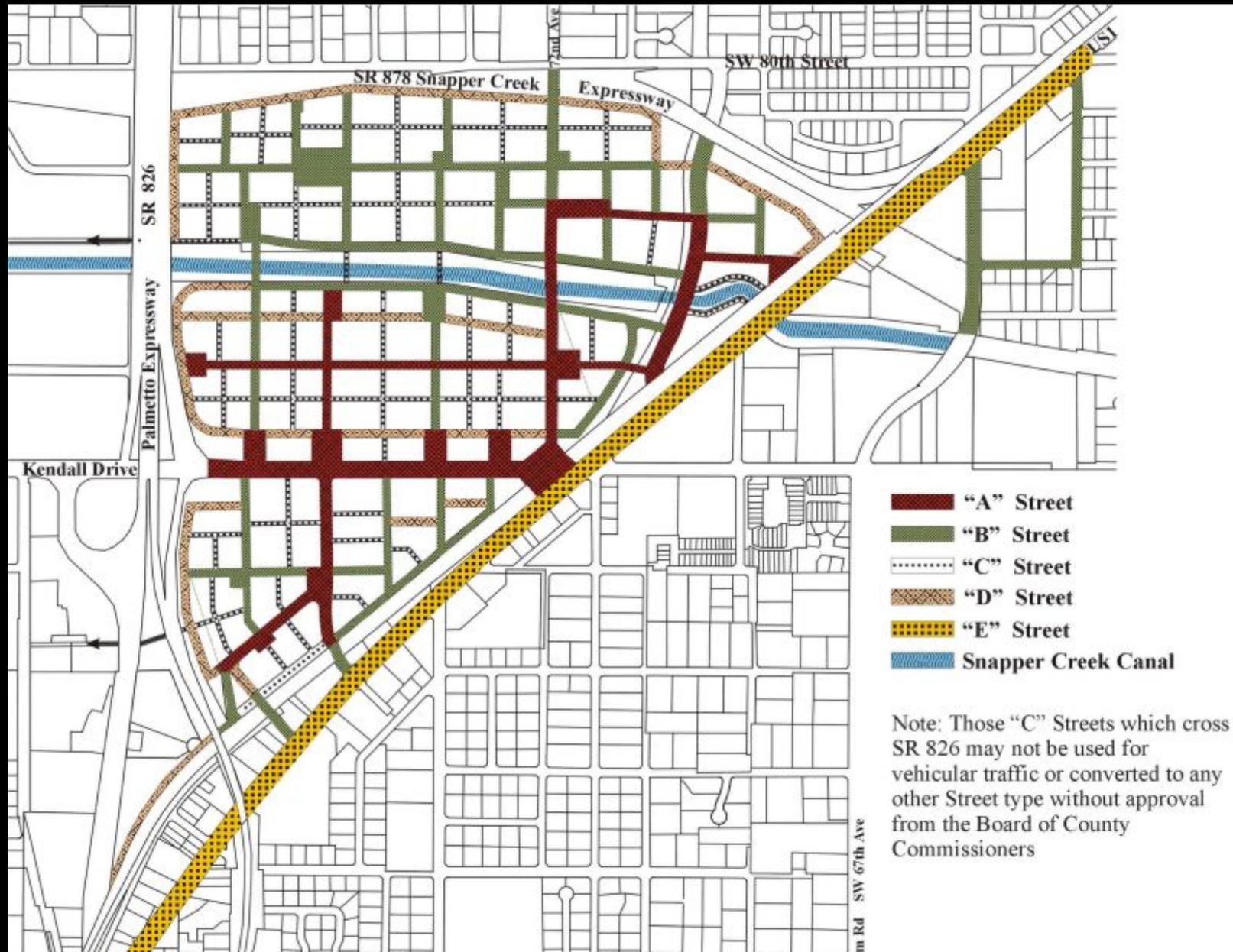
Savannah, GA

Examples of Form-based Codes

**Downtown
Kendall
Miami-Dade Co., FL**

REGULATING PLANS

The Streets Plan



Street types in the Core Area

Columbia Pike

Arlington, VA

2002 Safeway (the *before* image)

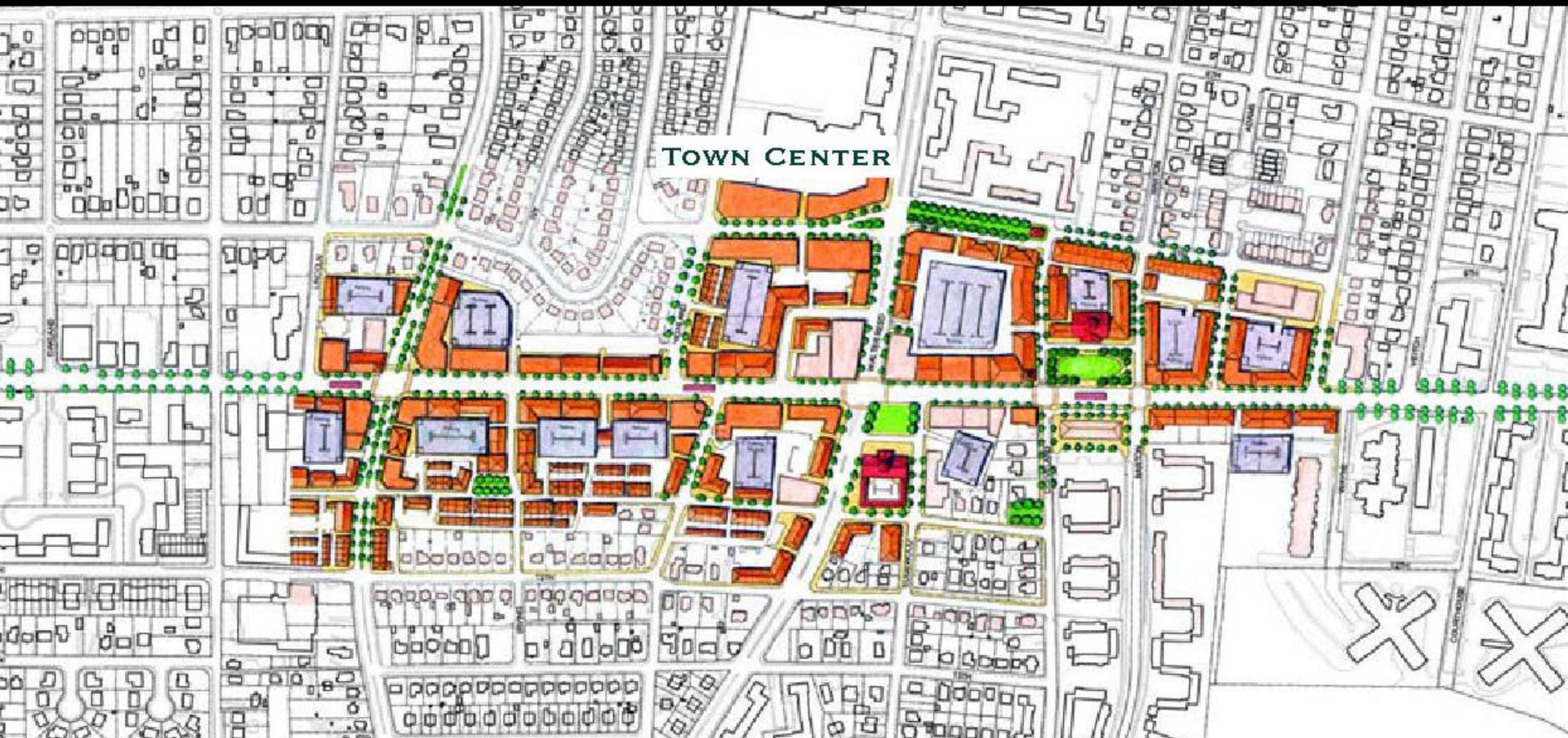


8 years later



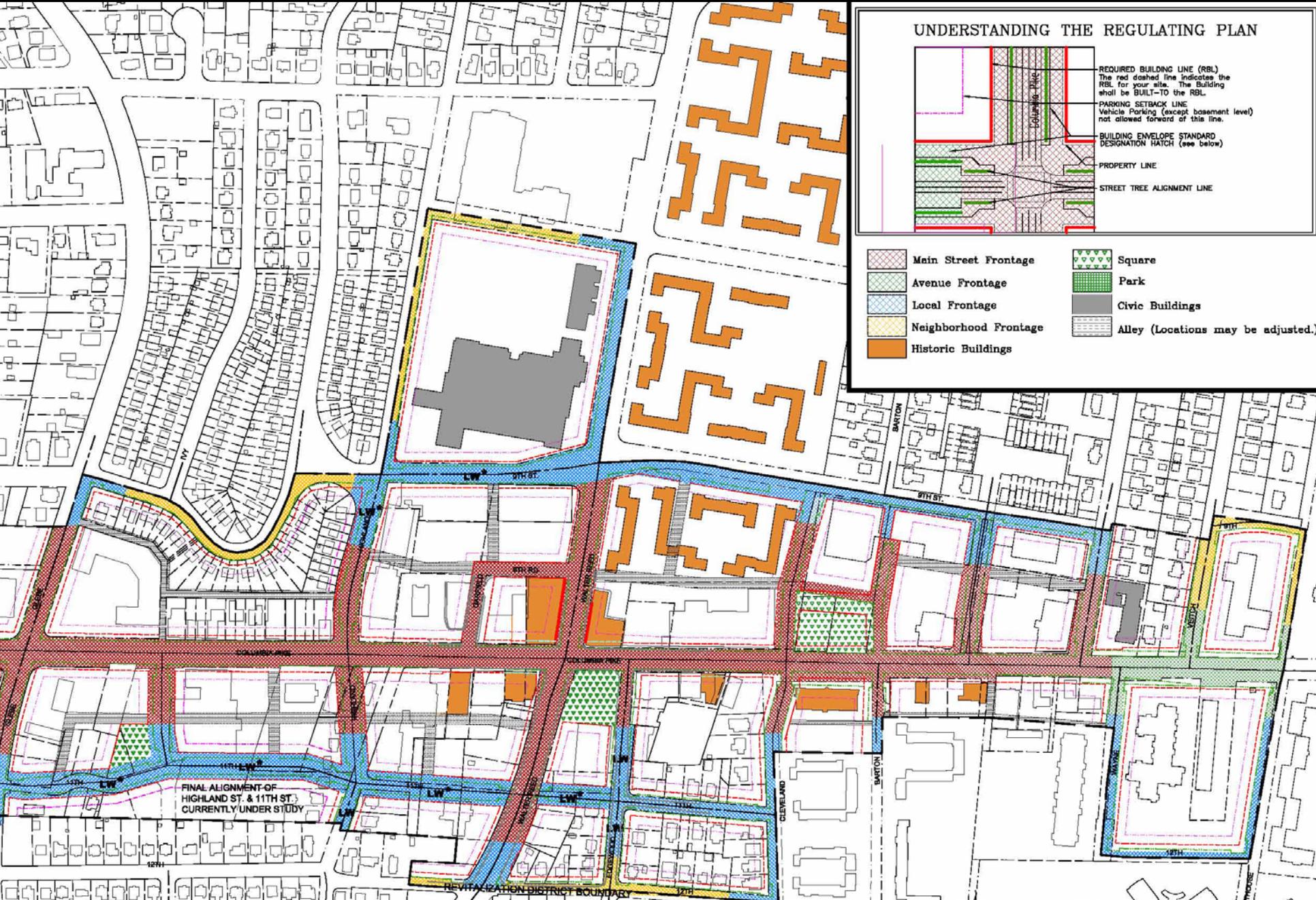
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Columbia Pike, Arlington (VA)

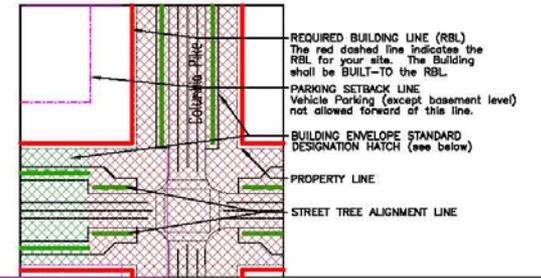


- Adopted as an optional (parallel) “overlay zone”
- Use of this code is encouraged by density bonuses
- Additional incentive: a streamlined approval process

Columbia Pike, Arlington (VA)



UNDERSTANDING THE REGULATING PLAN



REQUIRED BUILDING LINE (RBL)
The red dashed line indicates the RBL for your site. The Building shall be BUILT-TO the RBL.

PARKING SETBACK LINE
Vehicle Parking (except basement level) not allowed forward of this line.

BUILDING ENVELOPE STANDARD DESIGNATION HATCH (see below)

PROPERTY LINE

STREET TREE ALIGNMENT LINE

- | | | | |
|--|-----------------------|--|------------------------------------|
| | Main Street Frontage | | Square |
| | Avenue Frontage | | Park |
| | Local Frontage | | Civic Buildings |
| | Neighborhood Frontage | | Alley (Locations may be adjusted.) |
| | Historic Buildings | | |

the form standards

B. BUILDING ENVELOPE STANDARDS: MAIN STREET SITES

C. BUILDING ENVELOPE STANDARDS: AVENUE SITES

Height Specifications

Building Height

- Principal building height is measured in stories.

Upper Story Height

- The maximum floor-to-floor story height limit for stories other than the Ground Story is 14 feet.

D. BUILDING ENVELOPE STANDARDS: LOCAL SITES

Height Specifications

Building Height

- Principal building height is measured in stories.
- Each building shall be between 2 and 3 stories in height. Additionally, an attic story may be built. An attic or full story any top story which achieves its minimum clear height between 8 and 12 feet behind the RBL. An attic or half story may have eaves visible.

Upper Story Height

- All stories shall have at least 9 feet 4 inches in clear height for at least 60 percent of their area.
- The maximum floor to floor story height limit for upper stories is 12 feet.

Maximum Area and Pediments

Mezzanines or podiums greater than 20% of the floor area footprint shall be counted as full stories.

E. BUILDING ENVELOPE STANDARDS: NEIGHBORHOOD SITES

Height Specifications

Building Height

- Principal building heights measured in stories.
- The building shall be no more than 3 stories in height.
- No accessory building shall be more than 18 feet to its roof.

Ground Floor and Second Story Height

- The ground floor finished elevation shall be between 30 and 32 feet above the finished elevation.
- The maximum floor to floor story height for the second story shall be 12 feet.

Maximum Area and Pediments

Mezzanines or podiums greater than 20% of the floor area footprint shall be counted as full stories.

Siting Specifications

Street Facade

- The street facade shall be built to not be over 18 feet. However, at the corner, facade within 7 feet of a Block Corner circle requirement in order to allow special corner design.
- That portion of a facade that is required shall be composed as a simple plane (limited to 10% of the facade).

Siting Specifications

Corner Lots

Corner lots shall be treated as having street frontage on both the front and side streets (or RBLs).

Elements Specifications

Signage

- An ornamental front yard fence (not to be chain-link or any other type of steel fencing), 30 to 40 inches in height, is required along the street frontage and common walls to at least 10 feet behind the required Building Line (RBL).
- A fence may be 7 feet in height, may run the remainder of the rear and across an easement within the front yard area which shall have a fence as designated above.

Elements Specifications

Garage

Garage doors shall not face (be at an angle of less than 90 degrees from the RBL or right of way) the RBL. Vehicle parking areas (except where a street wall exists or parking is enclosed within an ancillary building) on private property shall not be located within 25 feet of the RBL. These requirements are not applicable to on-street parallel parking.

Use Specifications

Residential Home Office

Residential Home Office

Special Conditions:
Within 100 FT of MAIN STREET RBL:
- Wakefield to 4 Mile Run, MAX 4 STORIES

Height Specifications

Building Height

- Principal building height is measured in stories. These parameters preserve appropriate street-space and allow for greater variety in building height.
- Each building shall be between 3 and 6 stories in height, except where otherwise noted here or in the Rezoning Plan.

Building Structure Height

No parking structure within the block shall exceed the max height of any building (built after 2002) within 40 feet of the parking structure.

Height Specifications

Ground Story Height

- The ground story floor elevation shall be between 5 inches below and 24 inches above the sidewalk elevation at the front of the building. The maximum floor-to-floor story height limit for the ground floor is 24 feet.
- The ground floor shall have at least 15 feet clear (floor to ceiling) height for at least 1/3 of its area contiguous to RBL frontage.

Siting Specifications

Street Facade

- The Street facade shall be built to not less than 75 percent of the overall RBL. However, the ground floor portions of the Street facade within 7 feet of a Block Corner are exempt from this requirement in order to allow special corner treatments in these areas.
- The Street facade shall be composed as a simple plane (limited joists less than 24 inches are considered a simple plane within this requirement) interrupted only by porches, stoops, awnings, shopfronts, and eaves.

Siting Specifications

Corner Lots

Corner lots shall be treated as having street frontage on both the front and side streets (or RBLs).

Elements Specifications

Signage

- An ornamental front yard fence (not to be chain-link or any other type of steel fencing), 30 to 40 inches in height, is required along the street frontage and common walls to at least 10 feet behind the required Building Line (RBL).
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- The ground story floor elevation shall be between 5 inches below and 24 inches above the sidewalk elevation at the front of the building. The maximum floor-to-floor story height limit for the ground floor is 24 feet.
- The ground floor shall have at least 15 feet clear (floor to ceiling) height for at least 1/3 of its area contiguous to RBL frontage.

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Use Specifications

Residential Home Office

Residential Home Office

Upper Stories Height

- The maximum floor-to-floor story height limit for stories other than the Ground Story is 14 feet.
- At least 80 percent of the upper stories shall have at least 9 feet 4 inches clear (floor to ceiling) height.

Maximum Area and Pediments

Mezzanines and podiums greater than 20% of the floor area footprint shall be counted as full stories.

Street Wall Height

- Any unbuilt alley and/or common lot frontage shall have a street wall built along it, 7 feet in height.
- Street wall heights are measured relative to the adjacent sidewalk or to the ground elevation when not fronting a sidewalk.

Other

Where a Max-street site is within 40 feet of a Local Str., Neighborhood Site or a single-family home, the maximum height for that portion is 32 feet to the eaves of MARKET.

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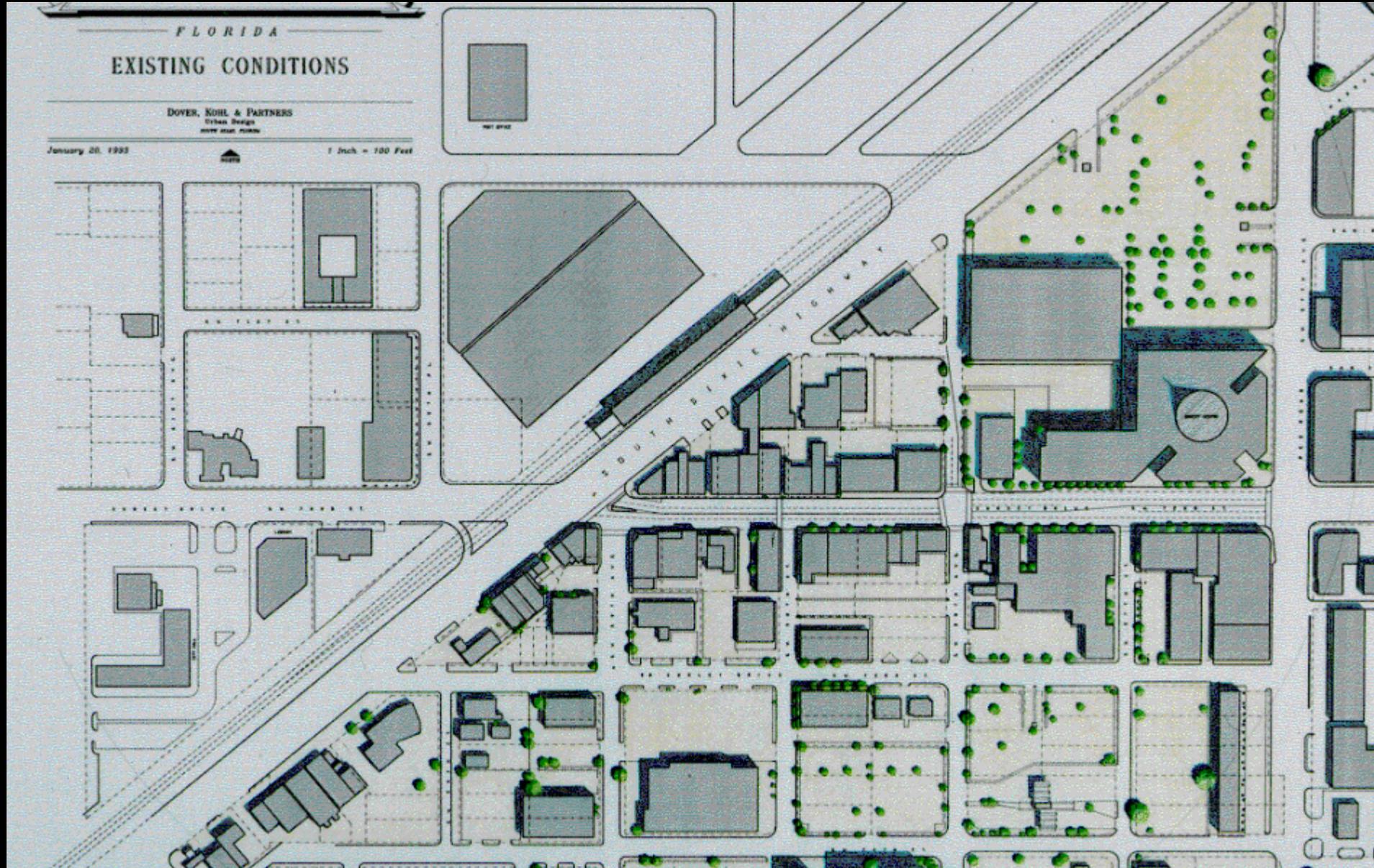
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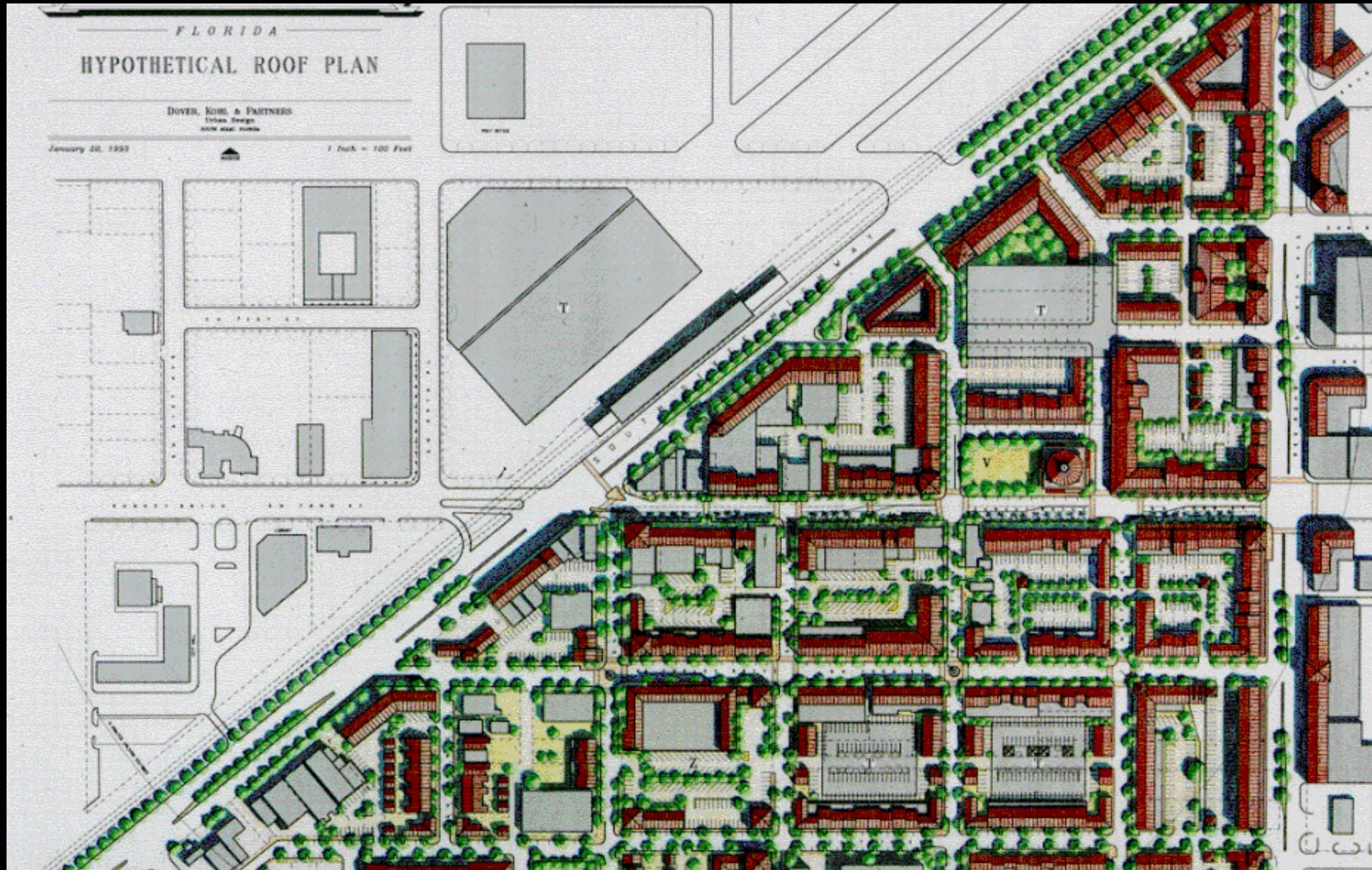
The Hometown District South Miami, FL

South Miami pre-boom



South Miami 1992

South Miami pre-boom



The Hometown Plan



Existing Conditions:
Sunset Drive, next to Starbucks



Catalyzing Reinvestment via Regulatory Reform



Courtyard: part of why this site was marked “contributive”

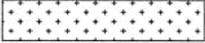


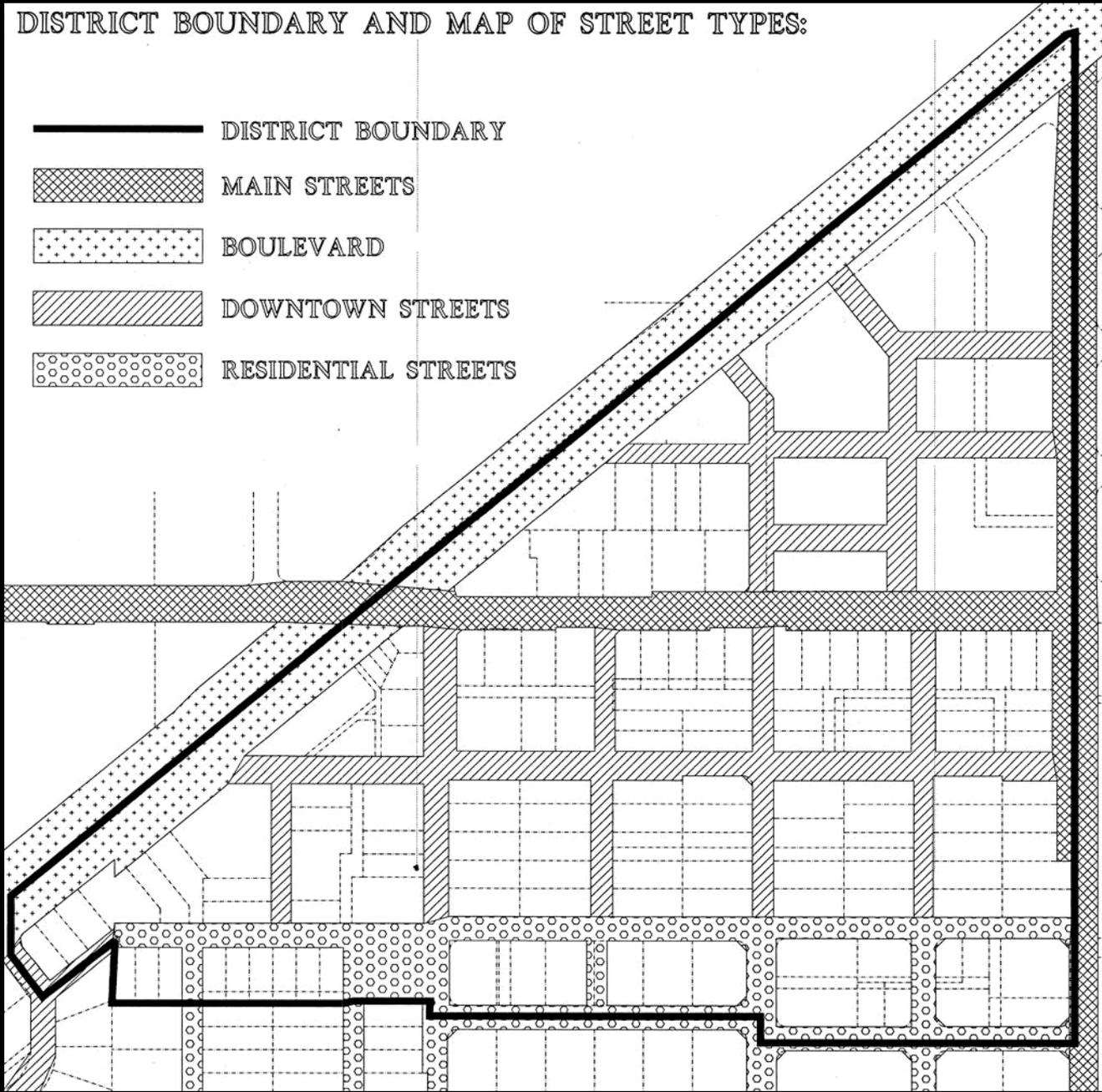
The Hand and Foot Company
FOR HANDS AND FEET

STARBUCKS COFFEE



DISTRICT BOUNDARY AND MAP OF STREET TYPES:

-  DISTRICT BOUNDARY
-  MAIN STREETS
-  BOULEVARD
-  DOWNTOWN STREETS
-  RESIDENTIAL STREETS



MAIN STREETS

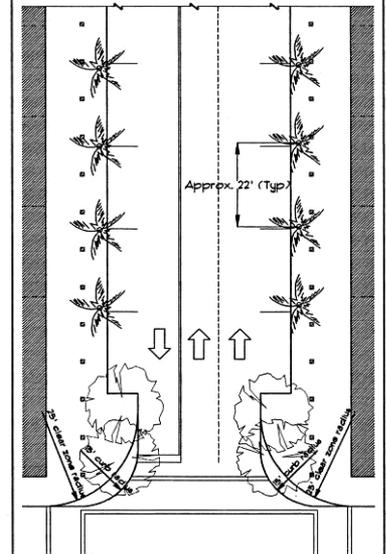
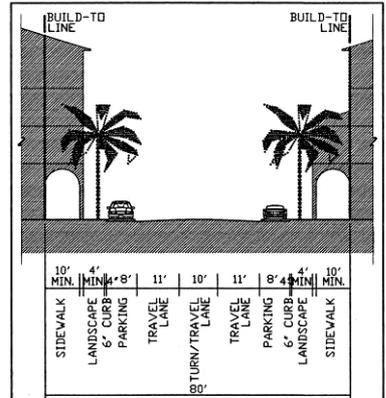
Right of Way width = 480 ft.
 Curb Radius = 15 ft.
 Clear Zone Radius = 25 ft.
 Tree Spacing = 22 ft. (aligned with each parking space division line)

Arcade required except for contributive buildings.

Typical Street Section for Sunset Drive and Red Road:

- 2 Travel Lanes 11 ft. wide, one traveling in each direction.
- 1 Center Lane 10 ft. used primarily as a turn lane; on Sunset Dr. it may also be used as a west-bound travel lane near the USJ intersection.
- 2 Parallel Parking Lanes, 8 ft. wide, on each side of street.
- Sidewalks may vary in width, but shall be maximized.
- Arcades shall be a minimum of 10 Ft wide between the face of the building and the inside face of the columns.
- There shall be a minimum of 4 ft. between the curb and the outside face of the columns for tree planting; between trees, this area may also be used for groundcover or sidewalks.

EXAMPLE: SUNSET DRIVE (80' R.O.W.)



SOUTH MIAMI HOMETOWN DISTRICT BASIC STANDARDS (PART II)

AUGUST 2, 1993

PARKING:

20-7.5 PARKING:
A. Hometown District Parking Committee.
Parking in the Hometown District must be developed and managed primarily as an element of enhancement critical to enhancing South Miami's tax base through economic success of the District. The City Commission and four private citizens shall serve as the Hometown District Parking Committee charged with oversight of the supply, convenience, safety, and management of parking. The four private citizens shall be appointed by the Mayor with the advice and consent of the City Commission and shall include one or more landowner(s) and one or more tenant(s) from the District and one or more resident(s) of South Miami. The Director of the Building and Zoning Department shall serve as the executive secretary to this Committee. The Committee shall report to the City Commission no less than annually on the state of parking in the Hometown District and shall from time to time make recommendations to the City Commission for changes in the parking system and for the fees paid into the Parking Infrastructure Trust Fund.

B. Required Parking.
Within the Hometown District, the following adjustments to the number of parking spaces required by Section 20-4.4 (3) of the Code are provided:

- One-story spaces adjacent to a lot shall count toward the parking requirements for that lot; a partial space larger than 11' shall count as a full space.
 - 3-story buildings shall receive a 15% reduction in the required number of spaces.
 - Buildings of two or more stories with uses from two of the three use categories provided herein under "Permitted Uses," each use constituting no less than 30% of the gross floor area, shall receive a 30% reduction in the required number of spaces.
 - Buildings of three or more stories with uses from each of the three use categories provided herein, each use constituting no less than 25% gross floor area, shall receive a 40% reduction in the required number of spaces.
- C. Provisions:**
- The required number of spaces shall first be calculated pursuant to Section 20-4.4(3) for each permitted use. The appropriate reduction in parking spaces shall then be calculated as provided in Section 2.0 above. Any fractional result shall be rounded up.
 - The difference between the number of spaces provided, including an event parking, and the number of spaces required shall then be determined. If there are fewer spaces provided than required, the applicant must pay \$30,000 for each space required but not provided into the Parking Infrastructure Trust Fund for the creation of additional parking spaces where the City Commission determines that a need exists.
 - Historic or Contributive Buildings are exempt from all parking requirements.
 - Any changes in use in a building will require a re-evaluation in the required parking pursuant to B above. If the new combination of uses requires additional parking spaces, \$30,000 per additional space must be paid into the Parking Infrastructure Trust Fund. If fewer spaces are required, no refunds will be paid.

	HEIGHT & USES	BUILDINGS AND THEIR PLACEMENT	REQUIRED ELEMENTS	ONSITE PARKING
MAIN STREETS <i>Main & Red Road</i>		<ul style="list-style-type: none"> Building Footprint = 100% of lot frontage along Build-to-Line. Lot Coverage = 60% maximum, 25,000 SF maximum per building. Open Yard Space = 5% min. Arcade Required. Arcade Depth = 8' min. Arcade Clear Height = 10' min. Arcade Length = 100% of lot frontage. <p>Build-to-Line(s) Locations: For specific lots, see the regulating plan for dimensions. Drive-thru(s) not permitted.</p>		
BOULEVARD <i>South Dixie Highway</i>		<ul style="list-style-type: none"> Building Footprint = 100% of lot frontage along Build-to-Line. Lot Coverage = 60% maximum, 25,000 SF maximum per building. Open Yard Space = 5% min. Either Arcade or Awning Required. Awning Clear Height = 7'-4" min. Arcade Depth = 8' min. Arcade Clear Height = 10' min. Arcade Length = 100% of lot frontage. <p>Build-to-Line(s) Locations: For specific lots, see the regulating plan for dimensions. Drive-thru(s) not permitted.</p>		
DOWNTOWN STREETS <i>SW 73 Street, Avenue, Corridor</i>		<ul style="list-style-type: none"> Building Footprint = 70-100% of lot frontage along Build-to-Line. Lot Coverage = 60% maximum, 25,000 SF maximum per building. Open Yard Space = 5% min. Either Arcade or Awning Required. Awning Clear Height = 7'-4" min. Arcade Depth = 8' min. Arcade Clear Height = 10' min. Arcade Length = 100% of lot frontage. <p>Build-to-Line(s) Locations: For specific lots, see the regulating plan for dimensions. Drive-thru(s) shall be allowed if entrance and exit occur at pre-approved curb cuts, and there are no more than two (2) drive-thru lanes.</p>		
RESIDENTIAL STREETS <i>South of & Inlanding SW 14th St.</i>		<ul style="list-style-type: none"> Building Footprint = 50-100% of lot frontage along Build-to-Line. Lot Coverage = 50% maximum, 25,000 SF maximum per building. Open Yard Space = 5% min. Either Arcade or Awning Required for mid-block lots. Front, Awning or Signage = 10' min. Front, Awning or Signage Length = min. 25% of building frontage. Drive-thru(s) are not permitted. Build-to-Line(s) Locations: For corner lots and mid-block lots, see the regulating plan for dimensions. Build-to-Line for corner lots and mid-block lots shall be the property line that is furthest from the street. Arcades may be included in lot frontage (from parking), arcades shall follow standards for Downtown Streets. 		

PERMITTED USES:

The Type:	Use-adjusted Parking Requirements: 1 parking space required per:
STOREFRONT USES	
Antique or Cash Store	300 SF
Bakery	300 SF
Bank or Savings Institution	300 SF
Beauty or Barber Shop	300 SF
Book Store or Bookery	300 SF
Break or Restaurant Store	300 SF
Child Care Center	300 SF
Convenience Store	300 SF
Day Care Center	150 SF
Day Care Center	150 SF
Department or Dry Goods Store	400 SF
Deli	300 SF
Dry Cleaning	300 SF
Florist or Dry Goods Store	300 SF
Food or Beverage Store	300 SF
Gift, Novelty or Souvenir Shop	300 SF
Grocery	300 SF
Hardware Store	300 SF
Home Furnishings or Furnishings Store	300 SF
Homebased Appraisal Store	300 SF
Jewelry Store	300 SF
Laboratory	300 SF
Lighting Fixture Store	300 SF
Liquor Store	300 SF
Massage or Lingerie Goods Store	300 SF
Mail & Parcel Center	300 SF
Massage or Lingerie Goods Store	300 SF
Medical (Library or Art Gallery)	300 SF
Newsstand	300 SF
Optician or Contact Goods, Showroom	300 SF
Photo Studio or Workshop	300 SF
Post Office or Shipping Services	300 SF
Professional Studio	300 SF
Physical Fitness Facility	300 SF
Print and Copy Services	300 SF
Public Storage	300 SF
Real Estate Office or Bank	300 SF
Refrigerated/Freezer/Chiller Goods Store	300 SF
School	300 SF
Shoe Repair Shop	300 SF
Shoe Store	300 SF
Spring Goods Store	300 SF
Taxidermy	300 SF
Tobacco Store	300 SF
Used Merchandise Store	300 SF
Used Merchandise Store, Computer(s)	300 SF
Wholesale Retail Store	300 SF
Workshop, Office or Bank Repair	300 SF
OFFICE USES	
Office & Building Services	300 SF

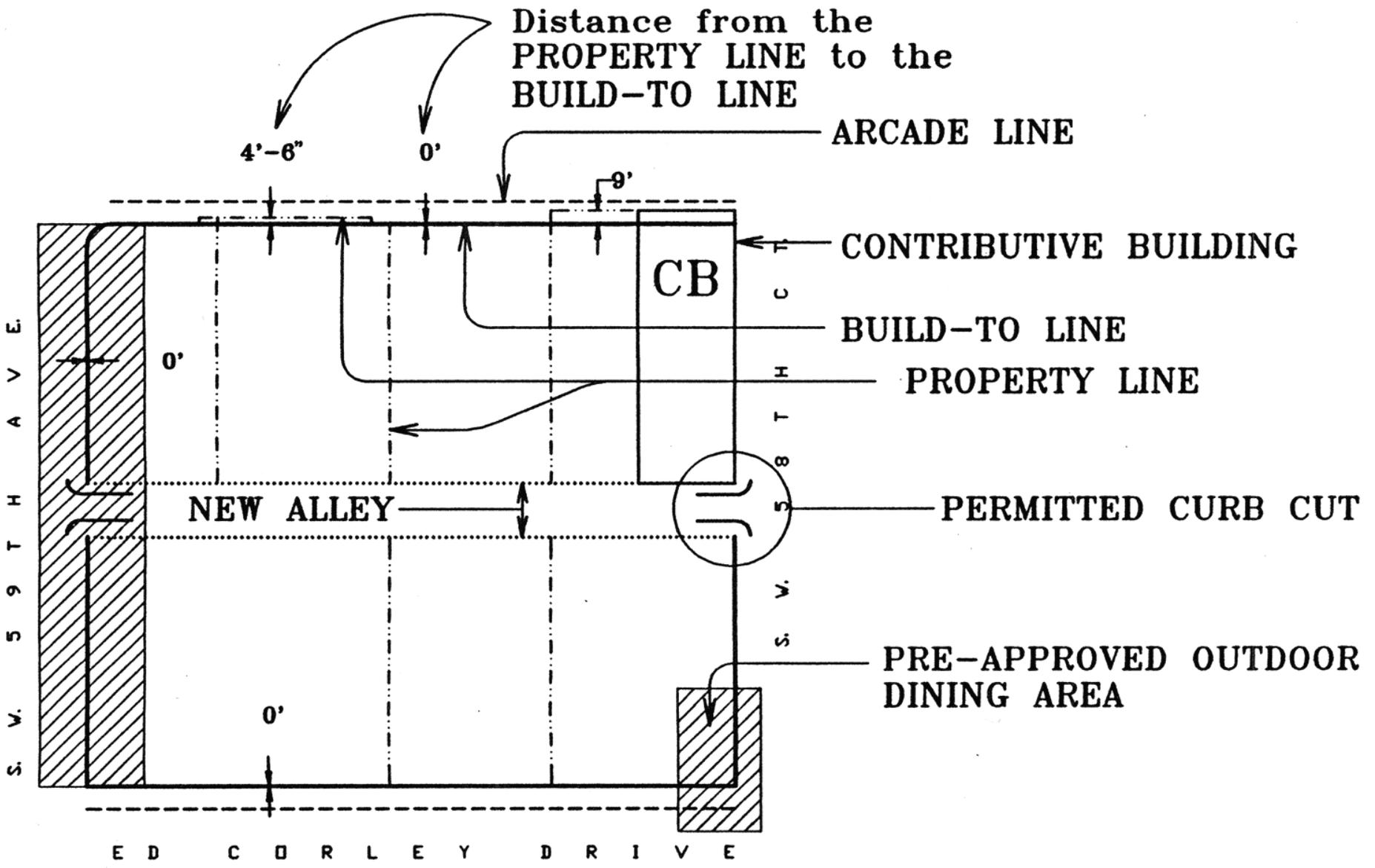
ARTICLE VII. HOMETOWN DISTRICT OVERLAY ORDINANCE

20-7.1 Title.
This article shall be known as the "Hometown District Overlay Ordinance" (HD).
(Ord. No. 19-93-1545, § 1, 10-19-93)

20-7.2 Intent, applicability, and boundaries.

(A) *Intent.* These land development regulations reinforce South Miami's Comprehensive Plan by establishing new standards for development as an overlay to existing development regulations within the boundaries of the Hometown District. These new regulations intend to invigorate the economic and social vitality of South Miami's "main street" business center, distinct from Dadeland-type malls and West Kendall-type strip development, by the following actions:

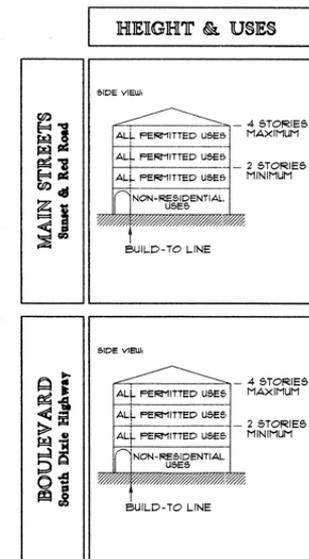
- Enhance South Miami's community identity and sense of place through the design and placement of buildings and streets to create a distinct "hometown" town center.
- Reduce commuter traffic demand on streets within the Hometown District to permit wider sidewalks and reduced traffic noise, velocity, and air pollution.
- Use buildings, arcades, trees, and modifications to street widths, curbs and sidewalks to create a shaded, interesting and safe environment that works for pedestrians as well as for cars.
- Emphasize the use of incentives such as reduced parking requirements and expedited permit processing to achieve a balance of retail, service, office, and residential uses characteristic of healthy town centers.
- Implement a parking code that treats parking as an element of public infrastructure in an urban center (instead of a private matter in a strip center) and that recognizes



The Regulating Plan prescribes the build-to line



HOMETOWN DISTRICT OVERLAY ORDINANCE



Prescribing Mixed-use Buildings

Mediterranean Village

Form-based Code

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Table of Contents

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1. Administration

2. Regulating Plans

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Section 3-510-1 | Administration

F. Development Agreement

A proposed development agreement shall accompany the Coral Gables Mediterranean Village application, to assure all of the commitments and conditions associated with the Coral Gables Mediterranean Village option, all designed to assure a world class, unified and integrated mixed use project, providing for at least the following:

1. Detailed quality standards for attributes of the project including use and tenant selection, tenant build-out, maintenance and operations, and
2. Limits on the development rights granted, and
3. Aesthetic and operational assurances regarding well-integrated modifications and alterations over time, and
4. Assurances as to valet operation and tandem parking and contribution to transit, if a parking reduction is sought, and
5. Offsite improvements.

G. Application Submission Items

Applicants shall demonstrate to the Development Services Department that the proposed development complies with all of the regulations in this Section 3-510. These may include drawings, diagrams, and calculations that should be self-explanatory to staff assigned to review the submission. Any limitations of the size or other requirements of submission drawings shall be consistent with any imposed by the Zoning Code.

3-510-1 (E) (1), *Pre-application Meeting*

An applicant shall schedule a pre-application meeting with the Development Services Director or his/her designee to verify that a project or development meets the zoning standards prior to the preparation of detailed construction documents and/or subdivision plans. The applicant shall bring to the meeting:

1. Survey of all property proposed to be included in the Coral Gables Mediterranean Village showing existing conditions,
2. Site plan or sketch showing lot lines, building footprints, driveways, parking, sidewalks, walkways, Parti diagrams, rights-of-way encroachment locations, etc.,

3. A list or notation of all proposed uses, existing and/or proposed for the site and drawings of the front elevation (facing streets or public spaces) of all the buildings proposed to be constructed or altered, with the location of the proposed uses notated on the drawings.
4. Site sections showing adjacent buildings

3-510-1 (E) (2), *Application Requirements:*

1. Survey of all the property proposed to be included in the Coral Gables Mediterranean Village, nor older than two years.
2. Site plan drawing, at an appropriate scale with dimensions, showing the perimeter of the lot(s). The drawing should also show any existing or proposed streets, alleys, or drives that abut the lot(s); as well as any driveways, casements, building footprints, patios or other paved areas, yard areas, parking areas or parking lots, and access to utilities. The site plan shall note the street address(es) and/or legal description(s) in the public rights-of-way which street-type(s) the lot(s) is (are) fronting.
3. A Street-Types Plan.
4. A Regulating Plan.
5. Pedestrian Amenities Plan.
6. Pedestrian Circulation Plan.
7. Diagrams, notes, and/or charts that identify requirements from these standards and demonstrate how they have been met.
8. Building massing, elevations and sections of any proposed buildings facades that face public or private rights-of-way or open spaces, drawn at an appropriate scale. The elevation drawings shall comply with the Architectural Standards in Section 3-510-5.
9. Vehicular Circulation Plan
10. Lighting Plan
11. Analysis of LEED-ND
12. Renderings and three-dimensional images of overall project and public spaces
13. Use Plan and zoning analysis of square feet and parking

A. Intent

B. Applicability

C. Procedure

D. Permitted Uses

E. Green Building Standards

F. Development Agreement

G. Application Submission Items

H. How to Use this Section

Section 3-510-2 | Regulating Plans

B. Street Type Plan

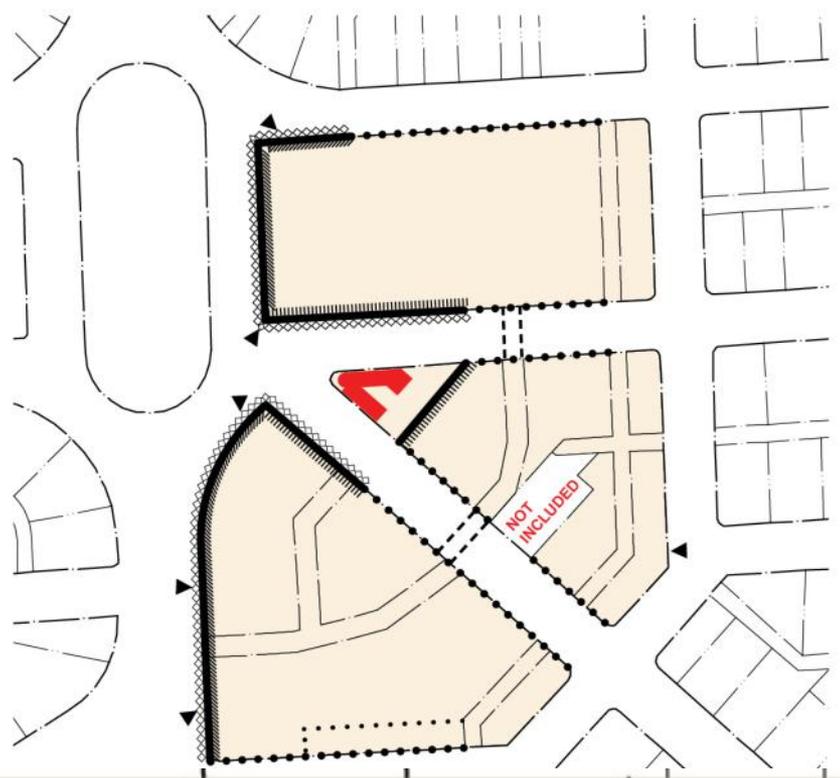


- A. Intent
- B. Street Types Plan
- C. Regulating Plan

Section 3-510-2 | Regulating Plans

SECTION 3-510-2 | REGULATING PLANS

C. Regulating Plan



LEGEND					
	Shopfront Frontage		Arcade Frontage		Terminated Vista
	Build-to Line		Recommended Arcade Frontage		Historic/Civic Building
	Upper Level Setback		Pedestrian Amenities		Permitted Upper Level Bridges

Section 3-510-3 | Building Form Standards

D. Summary of Street Type Standards

	Signature	Plaza	Downtown	Townhouse	Paseos	Alleys
Streets	Ponce de Leon	At the intersection of Ponce de Leon with Palermo & Coconut Grove Drive	Sevilla, Malaga, Palermo & Coconut Grove Drive	Galiano & Malaga	Pedestrian Street	
Heights						
Building Height Minimum	3 stories	3 Stories	2 Stories	1 Story	Refer to nearest Street Type Frontage	Not Applicable
Building Height Maximum	190'-6"	190'-6"	190'-6"	3 stories		
Conditional Extra Floors ⁽¹⁾	2 stories maximum	2 stories maximum	Not allowed	Not allowed		
Architectural Appurtenances ⁽²⁾ (no enclosed air-conditioned spaces):						
Maximum area	75% of rooftop area	75% of rooftop area	60% of rooftop area	60% of rooftop area		
Max. Height above the roof line	95' max height	18' max height	18' max height	11' max height		
Floor Heights (floor to ceiling):						
Ground Floor & 2nd Floor	10 to 25 Feet	10 to 17 Feet	10 to 17 Feet	8 to 14 Feet		
Third Floor	8 to 17 Feet	8 to 17 Feet	8 to 14 Feet	8 to 14 Feet		
Upper Floors (above 3rd story)	8 to 14 Feet	8 to 14 Feet	8 to 14 Feet	8 to 14 Feet		
Ground Floor above sidewalk ⁽³⁾	6 inches max.	6 inches max.	6 inches max.	18 inches minimum		

Notes:

- (1). For Restaurant use only. Limited to a floor plate of 5,900 square feet of enclosed air conditioned space.
- (2). For decorative or mechanical use only. Appurtenances shall not contain enclosed air conditioned spaces except as allowed for roof top public spaces. Mechanical equipment must be screened from view, in elevation on all sides. Height measured to the eave.
- (3). The floor of an arcade at a street's edge shall also meet this requirement. Ramping may be necessary between the floor of the arcade and the sidewalk for ADA compliance. Ramping may occur in between the arcade's columns or piers and/or in the sidewalk area.

Section 3-510-3 | Building Form Standards

Street types:	Signature	Plaza	Downtown	Townhouse	Paseos	Alleys
Street Names:	Ponce de Leon	At the intersection of Ponce de Leon with Palermo & Coconut Grove Drive	Sevilla, Malaga, Palermo & Coconut Grove Drive	Galiano & Malaga		

Street Widths

Right of Way Width	100 Feet	35,000 sq. ft.	60-70 Feet	60 Feet	10-30 Feet	20-30 Feet
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Building Placement

Front Build-to Line ⁽¹⁾	0 to 14 feet	0 to 14 feet	0 to 14 feet	0' to 14 feet	0'	
Side Setback (next to another property)	Not Applicable	Not Applicable	0' or 10' if next to a single family house	Not Applicable	Not Applicable	Refer to nearest Street Type Frontage
Rear setback without Alley	Not Applicable	Not Applicable	10'	10'	Not Applicable	Not Applicable
Rear setback with Alley	Not Applicable	Not Applicable	0'	0'	Not Applicable	Not Applicable
Frontage Build-out ⁽²⁾	100%, ⁽³⁾	100%, ⁽³⁾	80% minimum	50% minimum	No Restrictions	No Restrictions

Note:

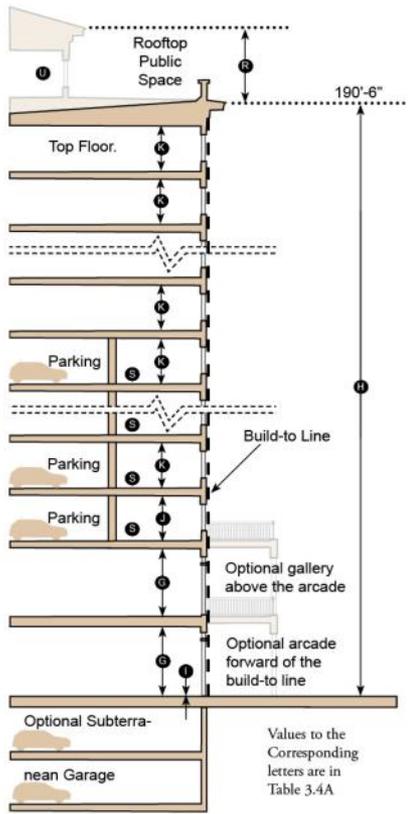
1. Build-to lines are measured from the property line along a street frontage to a distance back from the street. If the requirement denotes a range in distances, this means the facade of the building shall occur anywhere within the range. Portions of the facade may be forward or backward from each other but all must remain within the range.
2. Frontage Build-out is the width of the facade to be built along the build-to line. It is measured based on the percentage of the front property line running along the street-type designation from the Street Type Plan in Section 2.
3. For Signature Streets and Plazas, entrances to drop-offs, garbage dumpsters, delivery bays and parking garages shall be flush and integrated with the facade of the building. If a gallery or arcade is used in the facade of the buildings, any doors for vehicular access should be flush with the inside wall of the pedestrian corridor.

Section 3-510-3 | Building Form Standards

E. Signature Streets

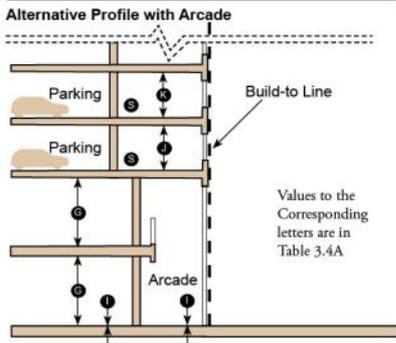
Signature Streets are primary thoroughfares in Coral Gables with wide rights of way that can accommodate taller buildings.

1. Building Heights & Profile



Building Heights & Profile, Table 3.4A		
Heights		
Building Height Minimum	3 Stories minimum	(H)
Building Height Maximum	190 feet & 6 inches to eave	(L)
Conditionally Extra Floors ⁽¹⁾	2 Stories maximum	(R)
Upper level setback	NONE	
Architectural Apertures ⁽²⁾ (no enclosed air-conditioned spaces):		
Maximum area	75% of rooftop area	(F)
Max. Height above the eave	95' max height	(R)
Floor Heights (floor to ceiling)		
Ground Floor & 2nd Floor	10 to 25 Feet	(C)
Third Floor	8 to 17 Feet	(J)
Upper Floors (above 3rd story)	8 to 14 feet	(K)
Ground Floor above sidewalk ⁽³⁾	6 inches max.	(I)
Habitable Space between Parking & Street: 20 feet min		(S)

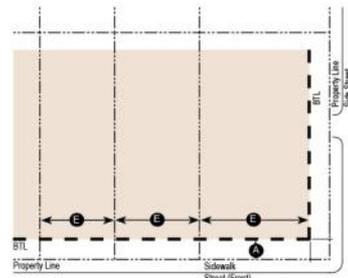
Notes:
 (1). For Restaurant use only. Limited to a floor plate of 5,900 square feet of enclosed air conditioned space.
 (2). For decorative or mechanical use only. Apertures shall not contain enclosed air conditioned spaces except as allowed for roof top public spaces. Mechanical equipment must be screened from view, in elevation on all sides. Height measured to the eave.
 (3). The floor of an arcade at a street's edge shall also meet this requirement. Ramping may be necessary between the floor of the arcade and the sidewalk for ADA compliance. Ramping may occur in between the arcade's columns or piers and/or in the sidewalk area.



2. Parking Location
 See Section 4 for additional parking requirements. Habitable space of a minimum depth of 20 feet is required between any parking floors and the frontage along Signature Streets and Plazas.

Key
 - - - - - Build-to Line (BTL)
 Building

3. Building Placement



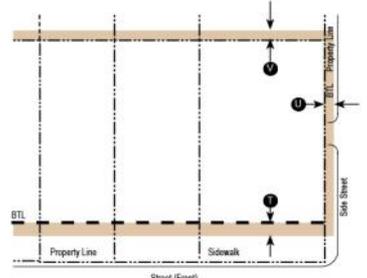
Values to the Corresponding letters are in Table 3.5A

Key
 - - - - - Property Line
 - - - - - Build-to Line (BTL)
 Building Area

Building Placement, Table 3.5A		
Front Build-to Line ⁽¹⁾	0' min to 14' Max.	(A)
Frontage Build-out ⁽²⁾	100% ⁽³⁾	(E)

Note:
 1. Build-to lines are measured from the property line along a street frontage to a distance back from the street. If the requirement denotes a range in distances, this means the facade of the building shall occur anywhere within the range. Portions of the facade may be forward or backward from each other but all must remain within the range.
 2. Frontage Build-out is the width of the facade to be built along the build-to line. It is measured based on the percentage of the front property line running along the street-type designation from the Street Type Plan in Section 2.
 3. For Signature Streets and Plazas, entrances to drop-offs, garbage dumpsters, delivery bays and parking garages shall be flush and integrated with the facade of the building. If a gallery or arcade is used in the facade of the buildings, any doors for vehicular access should be flush with the inside wall of the pedestrian corridor.

4. Frontage Elements



Values to the Corresponding letters are in Table 3.5C

Key
 - - - - - Property Line
 - - - - - Build-to Line (BTL)
 Encroachment Area

Allowed Frontage Elements, Table 3.5B			
■ Shopfront	■ Gallery	■ Arcade	■ Canopy
■ Balcony	■ Awning		

See Section 5, Architectural Standards for further requirements of these frontage elements.

Encroachments of Frontage Elements, Table 3.5C

Frontage Elements may encroach forward of the build-to line, barring any additional restrictions by the public entity that has control over the public right of way. Frontage Elements shall not encroach into alleys without an overhead clearance of 20 feet or greater.

Front	12' max. or 2 feet behind the curb, if less	(I)
Side Street	The front restriction for that street-type	(J)
Rear	4' max.	(K)

There are no restrictions for building frontage elements entirely within private property unless otherwise stated in Section 5, Architectural Standards.

5. Miscellaneous

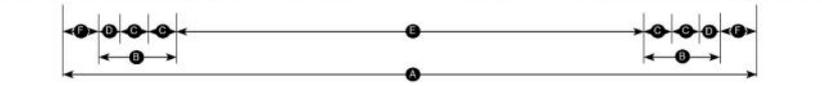
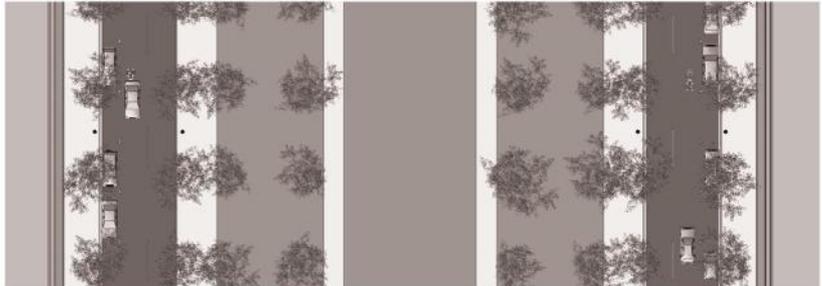
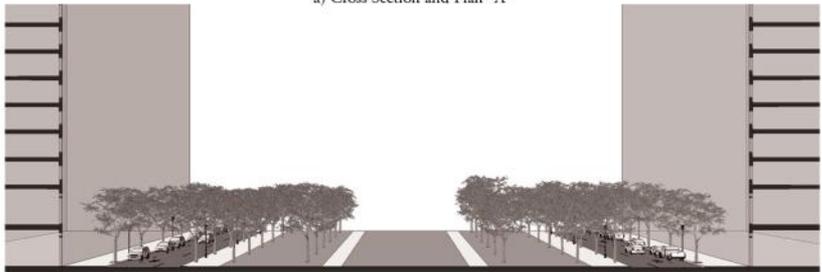
- All buildings must have a primary entrance along the front facade.
- Loading docks, overhead roll-down doors and other service entries shall not be located on street-facing facades.

Section 3-510-3 | Building Form Standards

6. Street Cross Sections

Applicants may choose any of the cross sections and plans in this section if adding new thoroughfares or streetscaping existing ones.

a) Cross Section and Plan "A"



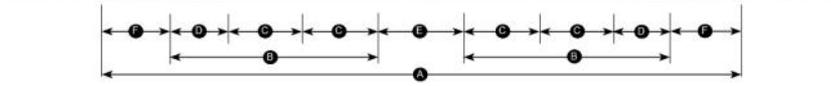
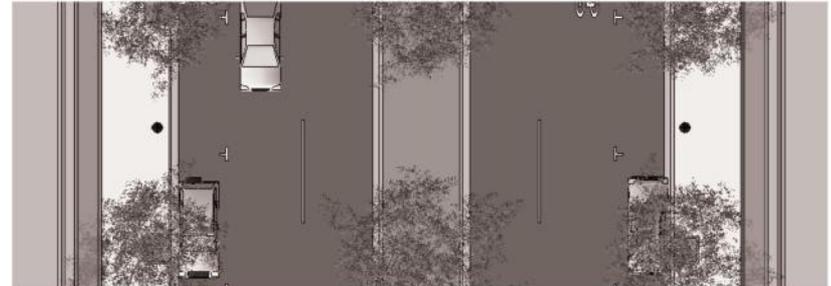
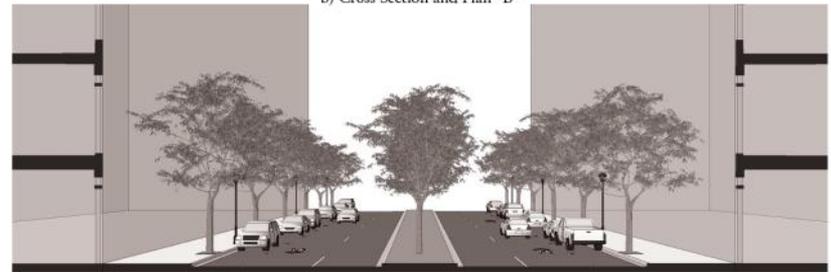
Application	
Movement Type	Slow
Design Speed	30 mph
Street Type	Signature Street

Overall Widths	
Right-of-Way (ROW) Width	280' A
Curb Face to Curb Face Width	30', 30' B

Lanes	
Traffic Lanes	11' C
Bicycle Lanes	sharrows D
Parking Lanes	8' D
Medians	190' E

Edges	
Curb Type	6" Raised
Planter Type	tree wells
Landscape Type	Medium Trees, evenly spaced @ 30' o.c. avg.
Walkway Type	14' sidewalk F

b) Cross Section and Plan "B"



Application	
Movement Type	Slow
Design Speed	30 mph
Street Type	Signature Street

Overall Widths	
Right-of-Way (ROW) Width	100' A
Curb Face to Curb Face Width	30', 30' B

Lanes	
Traffic Lanes	11' C
Bicycle Lanes	sharrows D
Parking Lanes	8' D
Medians	12' E

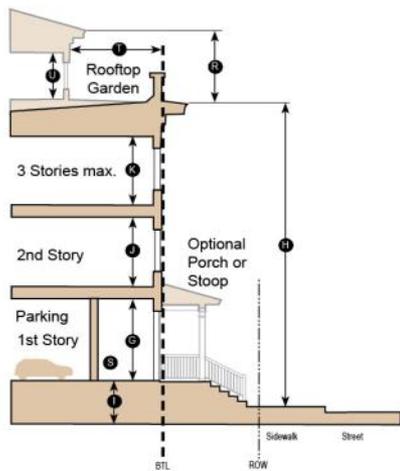
Edges	
Curb Type	6" Raised
Planter Type	tree wells
Landscape Type	Medium Trees, evenly spaced @ 30' o.c. avg.
Walkway Type	14' sidewalk F

Section 3-510-3 | Building Form Standards

H. Townhouse Street

Townhouse Streets are streets that are lined with apartment buildings and/or townhouses.

1. Building Heights & Profile



Values to the Corresponding letters are in Table 3.16A

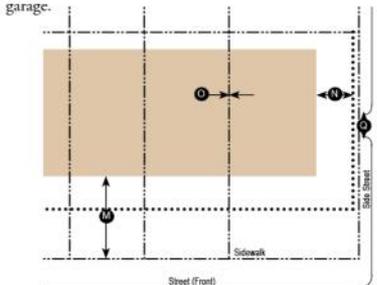
Key

- Build-to Line (BTL)
- Building Area

Building Heights & Profile, Table 3.16A		
Heights		
Building Height Minimum	1 Story minimum	(H)
Building Height Maximum	3 stories	(I)
Upper level setback	10' minimum	(J)
Architectural Appurtenances ⁽¹⁾ (no enclosed air-conditioned spaces):		(U)
Maximum area	60% of rooftop area	
Max. Height above the eave	11' max height	(R)
Floor Heights (floor to ceiling)		
Ground Floor & 2nd Floor	8 to 14 feet	(G)
Third Floor	8 to 14 feet	(J)
Upper Floors (above 3rd story)	8 to 14 feet	(K)
Ground Floor above sidewalk	18 inches minimum	(L)
Habitable Space between Parking & Street	10 feet min. 20 feet max.	(S)
Notes:		
(1). Appurtenances shall not contain enclosed air conditioned spaces except as allowed for private roof top gardens. Mechanical equipment must be screened from view, in elevation on all sides. Height measured to the eave.		

2. Parking Location

See Section 4 for additional parking requirements. The diagram below applies whether parking is at-grade or in a garage.



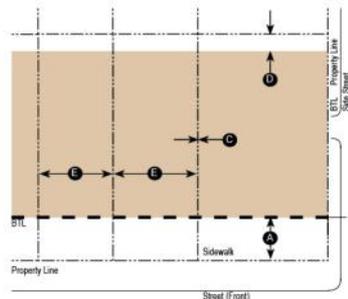
Values to the Corresponding letters are in Table 3.16B

Key

- Property Line
- Setback Line
- Parking Area

Parking, Table 3.16B		
Parking Location (Distance from Property Line)		
Front Setback	10' min.	(M)
Side Street Setback	10' min.	(N)
Side Setback	5' min.	(O)

3. Building Placement



Values to the Corresponding letters are in Table 3.17A

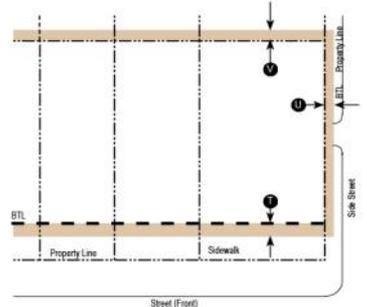
Key

- Property Line
- Building Area
- Build-to Line (BTL)

Building Placement, Table 3.17A		
Front Build-to Line ⁽¹⁾	0' min to 14' Max.	(A)
Side Setback (next to another property)	0' or 10' if next to a single family house or apartment building	(C)
Rear Setback without Alley	10 feet	(D)
Rear Setback with Alley	0 feet	(E)
Frontage Build-out ⁽²⁾	50%	(E)

Note:
 1. Build-to lines are measured from the property line along a street frontage to a distance back from the street. If the requirement denotes a range in distances, this means the facade of the building shall occur anywhere within the range. Portions of the facade may be forward or backward from each other but all must remain within the range.
 2. Frontage Build-out is the width of the facade to be built along the build-to line. It is measured based on the percentage of the front property line running along the street-type designation from the Street Type Plan in Section 2.

4. Frontage Elements



Values to the Corresponding letters are in Table 3.17C

Key

- Property Line
- Encroachment Area
- Build-to Line (BTL)

Allowed Frontage Elements, Table 3.17B	
■ Stoop	■ Canopy
■ Porch	■ Awning
■ Balcony	

See Section 5, Architectural Standards for further requirements of these frontage elements.

Encroachments of Frontage Elements, Table 3.17C

Frontage Elements may encroach forward of the build-to line, barring any additional restrictions by the public entity that has control over the public right of way. Frontage Elements shall not encroach into alleys without an overhead clearance of 20 feet or greater.

Front	12' max. or 2 feet behind the curb, if less	(I)
Side Street	The front restriction for that street-type	(J)
Rear	4' max.	(K)

There are no restrictions for building frontage elements entirely within private property unless otherwise stated in Section 5, Architectural Standards.

5. Miscellaneous

- Where a building facade steps back or is absent from the BTL, the BTL line should be maintained and defined by fence, landscape wall or hedge 30"-54" high.
- All buildings must have a primary entrance along the front or side street facade.
- Loading docks, overhead roll-down doors and other service entries shall not be located on street-facing facades.

Section 3-510-4 | General Standards

3-510-4 General Standards

A. Intent

The General Standards apply to all buildings, irrespective of the street-type designation.

B. Pedestrian Amenities

Where noted on the Regulating Plan in Section 2, an applicant needs to demonstrate, with a submission item called the Pedestrian Amenity Plan, all pedestrian amenities provided for the full length of the sidewalk of that required frontage. Pedestrian Amenities include, but are not limited to: fountains, pavers, landscape and architectural lighting, benches, and shading devices such as arcades, mature shade trees, canopies, large awnings, etc.

There shall be no "gaps" between pedestrian amenities greater than 10 feet along such frontage.

C. Overhead Street Cover, above public rights-of-way

Transparent or translucent structures covering over public rights of way are allowed above the third story only when both sides of a street are in common ownership or development agreement. Such structures shall remain accessible for cleaning and maintenance by the owners. The applicant must agree that at any time, the public entity that controls that public right-of-way retains the right to demand the removal of such structures for any reason at the owners' expense without challenge or compensation. Overhead street cover shall only occur above permitted upper level bridges. Plazas as designated by the Street Types Plan shall not be covered by such structures.

D. Upper Level Bridges

Upper level bridges are permitted where shown on the Regulating Plan in Section 2. Upper level bridges shall be long enough to cross the public right-of-way without intruding into the thoroughfare with support columns. Upper level bridges shall not exceed 10 feet in width in any one location and must have a vertical clearance of at least 17 feet above the crown of the street it crosses over. Upper level bridges shall only be permitted on the second floor and perpendicular to the street. Such structures shall only occur on the Block Face one location per street as identified in the Regulating Plan.

E. Parking Encroachments

Under Public Rights-of-Way (underground)

Subterranean parking may occur under the rights-of-way of Downtown Streets and Plazas when adjacent parcels share ownership and upon approval by the Development Services Director.

Tree wells shall be regularly spaced at 30' minimum on streets and given adequate depth to allow for a mature tree canopy above the underground parking deck.

Air ventilation exhausts shall not obstruct sidewalks and other pedestrian spaces. Exhausts may be located in rear alleys, back of house locations and upper level parking decks. These vents shall be screened to match the character of the adjacent building(s).

F. Signage

Three (3) types of signs are allowed: temporary signs, point of sale signs and directional signs. Outdoor advertising signs, automatic electric changing signs, and entrance features are not permitted as part of a Coral Gables Mediterranean Village. All signs shall not obstruct sight visibility triangles at street intersections.

All signage for applications under this section shall conform to Section 5 Division 19, Signs, of the Zoning Code and shall be reviewed by the Board of Architects.

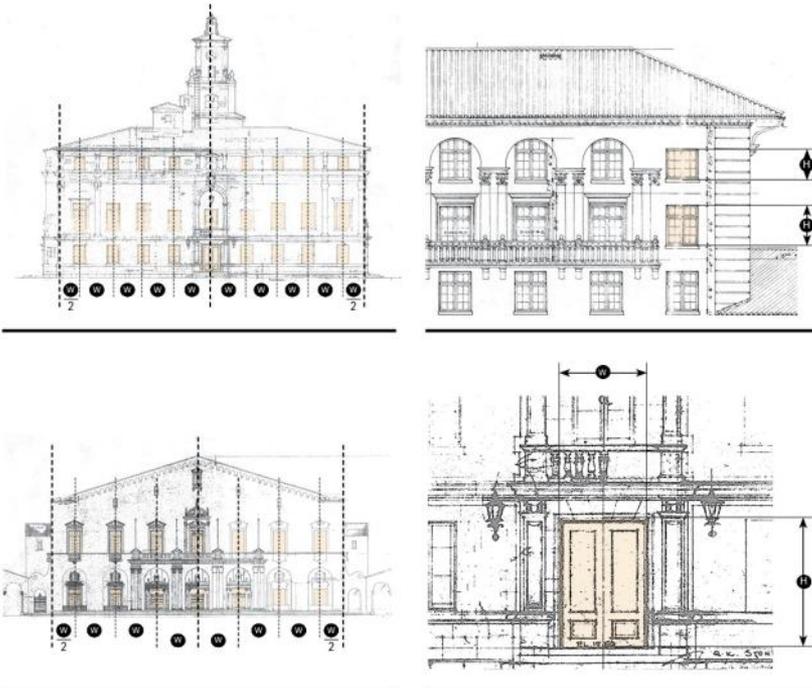
- A. Intent
- B. Pedestrian Amenities
- C. Overhead Street Cover, above public rights-of-way
- D. Upper Level Bridges
- E. Parking Encroachments Under Public Rights-of-Way (Underground)
- F. Signage
- G. Vehicular Access to Buildings
- H. Parking Standards
- I. Landscape

Section 3-510-5 | Architectural Standards

SECTION 3-510-5 | ARCHITECTURAL STANDARDS

G. Doors and Windows

Windows are more than providers of light and ventilation. They are the "eyes" of the building. Windows, more than any other element on the facade, determine the character of a building.



Key
Window/Door Transparency
Floor Line
Bay Rhythm

Facade Rhythm and Proportioning, Table 5.8A

Bay Width	2x as wide as end bay	A
Facades with 7 or more bays, center odd number of bays, with paired side bays		
End Bay	1/2 as wide as typical bay widths	E

Doors/Windows Openings, Table 5.8B

Window Casing Depth	4 inches min.	D
Permitted Window Types	Single-Double-, Triple-Hung	C
All windows shall be vertically proportioned and composed of individual elements which are also vertically proportioned.		

- A. Intent
- B. Vernacular to Classical Spectrum
- C. Proportion
- D. Building Massing Composition
- E. Horizontal Subdivision
- F. Front Façade Design
- G. Doors and Windows
- H. Awnings and Galleries
- I. Arcades / Loggias
- J. Columns and Railings
- K. Roofs, Parapets and Cornices
- L. Porches, Balconies & Stoops
- M. Towers, Cupolas and Chimneys
- N. Signage, Garden Walls and Fences
- O. Stucco and Masonry

Section 3-510-5 | Architectural Standards

B. Vernacular to Classical Spectrum

The Vernacular to Classical Spectrum diversifies the built environment from the organic to the more refined. Vernacular architecture addresses the private buildings and secretions that compose most of the city. Classical architecture is concerned with monuments, public buildings and foreground buildings.

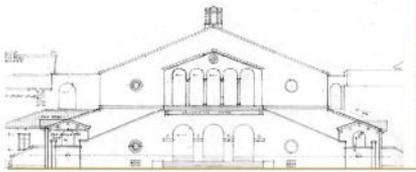
Vernacular
background
asymmetrical
informal
simple/rectangular shapes



San Sebastian Apartments



H. George Fink Offices



Coral Gables Elementary School



Coliseum



The Colonnade Building



Biltmore Hotel



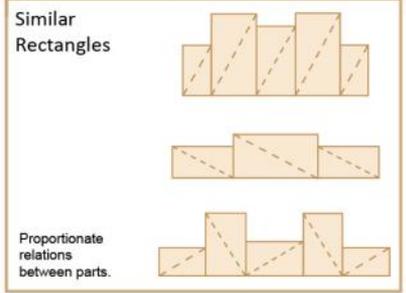
Coral Gables City Hall

Classical
foreground
symmetrical
formal
ornate/arched shapes

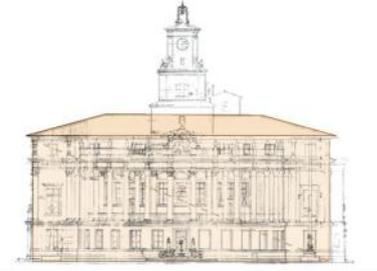
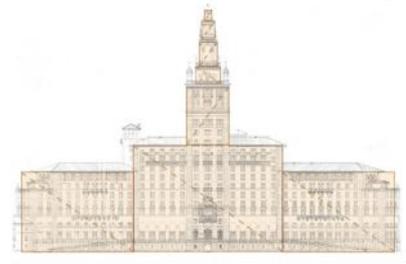
C. Proportion

An ideal proportion for a single rectangle in a façade is much less important than the repetition of similar rectangles in a façade. The particular shape of rectangle that predominates in a façade is fundamental to the building's architectural character. Proportion is the visual relation of objects which can actually be seen at the same time, and not of those which are only known by a comparison of measurements.

A building shall be mostly composed of rectangles that are substantially the same in relation of their general dimensions. The composition shall be either of long and narrow parts, or broad and short parts. These several rectangle shapes may then be repeated in various parts of the façade.



Steps for establishing proportions:



1. The front of the building and its various parts shall all conform to the same general type of rectangle, either notably broad or notably narrow.

2. Roofs, whether gabled, pedimented, or hipped, shall conform to the mass below. If the mass is tall and narrow, the roof shall be tall and narrow. If the mass is low and broad, the roof shall be low and broad. In the case of certain buildings in which the vertical dimensions considerably exceed the horizontal, but which are treated horizontally, the roof may be proportioned to the uppermost of the horizontal divisions taken by itself as if there were no building below it.

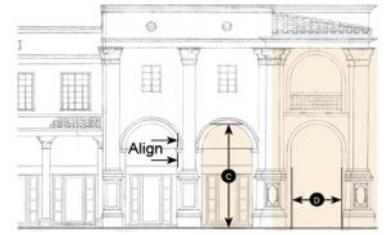
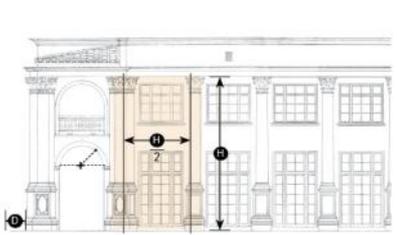
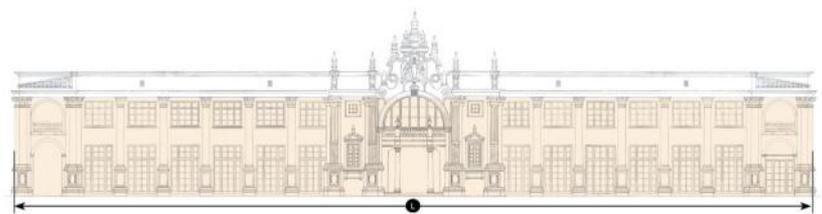


3. Parts that are unavoidably different in dimensions because of their difference in function may conform to separate ratios.

Section 3-510-5 | Architectural Standards

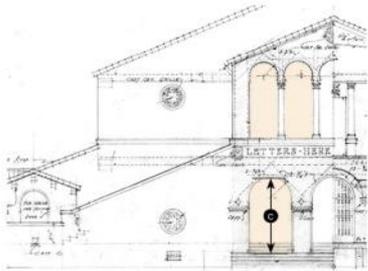
I. Arcades / Loggias

Well-designed and permanent coverage for pedestrians provide outdoor space at the ground level. Designed correctly, these encroachments add character to the building.



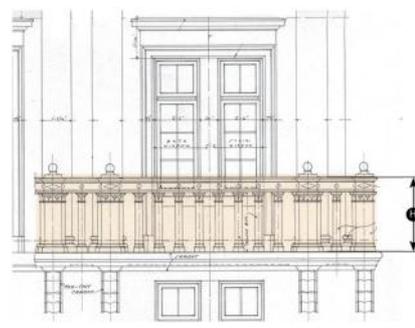
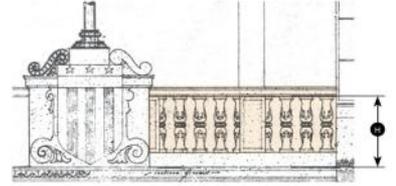
Key
 Arcades/Loggias

Arcades / Loggias, Table 5.10	
Depth	10' min. D
Underside Clearance	9' min. C
Length	80% of Facade L
Distance from Edge of Curb	2' min. E



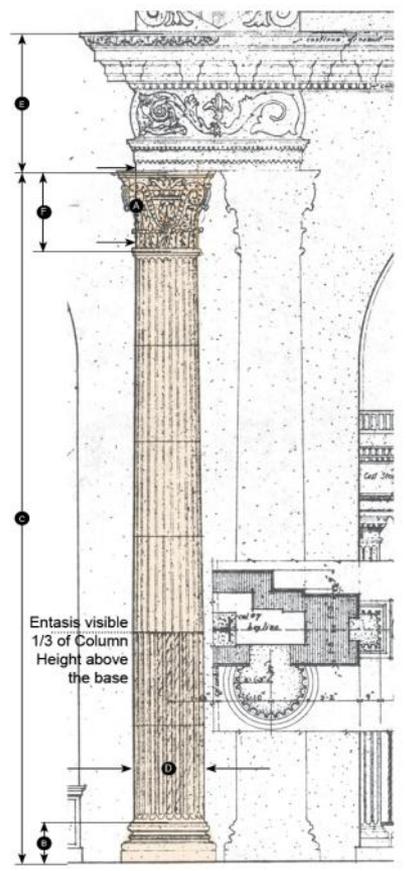
J. Columns and Railings

Misaligned columns may be the most common mistake made in Mediterranean architecture. The correct relationship is to align the neck of the column with the face of the architrave.



Railings, Table 5.11A	
Railing Height	36 inches min. H
Railings to be supported primarily at ends with columns or posts, but may have small members under longer stretches.	
Railings shall be compatible with other trim elements, such as door/window frames.	

Columns (Composite Order, as example*), Table 5.11B	
Column Diameter	4 inch. min. D
Column Height	10x the Column Diameter C
Entablature Height	2x the Column Diameter E
Base Height	1/2 the Column Diameter B
Capital Height	7/8 the Column Diameter F
Column Neck shall align with the Architrave (Outside edge of Beam or Arch). A	
*Classical C Column Orders shall meet the correct proportion of the chosen order (ie Tuscan, Doric, Ionic, Corinthian and/or Composite order).	



Key
 Column / Railings

Section 3-510-6 | Definitions

SECTION 3-510-6 | DEFINITIONS

Section 3-510-6 Definitions

Alley: A vehicular way located to the rear of lots providing a location for utility easements and access to service areas, parking, and Outbuildings.

Appurtenance: Architectural features not used for human occupancy, consisting of spires, belfries, or Cupolas; Parapet walls, and Cornices without windows; chimneys, ventilators, skylights, and antennas.

Arcade: A gallery of arches, each counter thrusting the next, supported by columns or piers which may have habitable space on the upper story.

Awning: An architectural projection roofed with flexible material supported entirely from an exterior wall of a building.

Balcony: An open habitable portion of an upper floor extending beyond a building's exterior wall that is not supported from below by vertical columns or piers but is instead supported by either a cantilever or brackets.

Block: The aggregate of areas located beyond the street space. Blocks are circumscribed by streets.

Block Face: The aggregate of all the building Facades on one side of a Block. The Block Face provides the context for establishing architectural harmony.

Building and Lot Site Plan: A plan document that delineates an area submitted for site plan approval. A Building and Lot Site plan typically contains only one lot. Items to include in the site plan are described elsewhere in this Article.

Building Frontage: The side of a building which faces the frontage street. The required building frontage per lot type is the percentage of lot width over which the principal building plane extends.

Building Orientation: The physical position of a building expressed in terms of the relationship between its front, side or rear elevations and the front, side, or rear elevations of an adjacent building and/or structure.

Build-To Line: A build-to line is a range of allowable distances from a street right-of-way that the building shall be built to in order to create a moderately uniform line of buildings along the street.

Cornice: Projecting horizontal decorative molding along the top of a wall or building

Cupolas: A domelike structure surmounting a roof, often used as a lookout or to admit light and air.

Curb Radius: The curved edge of street paving at an intersection, measured at the inside travel edge of the travel lane.

Encroachment: Any structural element such as Galleries, fences, garden walls, Porches, Stoops, Balconies, bay windows, terraces or decks that break the plane of a vertical or horizontal regulatory limit extending into a Setback, into the Public Frontage, or above a height limit.

Gallery: A roofed promenade extending along the wall of a building and supported by arches or columns on the outer side.

Habitable Space: Building space whose use involves human presence. Habitable space excludes parking garages, and display windows separated from retail activity.

Lot: A parcel of land accommodating a building or buildings of unified design. The size of a Lot is controlled by its width in order to determine the grain (i.e., fine grain or coarse grain) of the urban fabric.

Parapet: A low guarding wall at the edge of a roof terrace, or balcony.

Paseo: A public area, sidewalk, pedestrian pass-through and/or passageway that is commonly shared or used for pedestrian circulation that connects or serves two (2) or more properties between rights-of-way.

Principal Building: The main building on a Lot, usually located toward the front of lot.

DOVER, KOHL & PARTNERS

t o w n p l a n n i n g

